

FINAL DRAFT: JANUARY 17

DESIGN GUIDELINES

BROOKVIEW

 THE COMMONWEALTH GROUP | SETTING PROPERTIES
TORTI GALLAS AND PARTNERS

Claymont, Delaware



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INTRODUCTION

The Brookview site is an early 1950's courtyard barracks style rental apartment community that has fallen into some disrepair and is laid out in a form that is inconsistent with the traditional development pattern of Claymont.

New Castle County published a comprehensive plan in 2002 which outlined their intention to protect unique historic neighborhoods and natural resources by guiding development to be consistent with their 300 year building heritage. The product of community and government efforts resulted in the Hometown Overlay Zone, Design Guidelines, and Claymont Community Redevelopment Plan.

From the Comprehensive Plan came the county-wide Hometown Overlay Zoning District. The purpose of the overlay district is to streamline the development process to promote village-style development. It facilitates development to have a mixed-use compact character and provides flexibility in development standards that supersede current zoning categories. Without the historic overlay designation, this preferred style of development would be difficult, if not impossible, to implement.

Select communities in New Castle County conducted their own Community Redevelopment Plan to identify areas for development. Claymont contracted Thomas Comitta Associates, Inc. -Town Planners & Landscape Architects to assist in this visioning process. From this process came Claymont's vision of growth 1) a revitalized Claymont town center and 2) a re-established Philadelphia Pike as a main commercial corridor. Building on the public participatory planning process undertaken by New Castle County and the town of Claymont, The Commonwealth Group and Setting Properties (Developers) and Torti Gallas and Partners (Architects & Planners) undertook a highly successful public charrette process to develop a master plan for the redevelopment of Brookview. The culmination of this intense week long public process is the Master Plan found to the immediate right.



Illustrative Site Plan

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SECTION 1

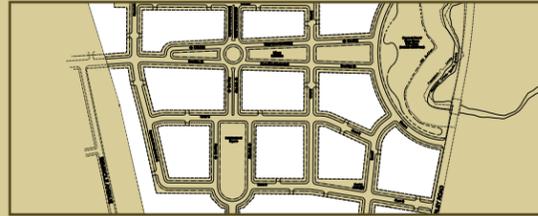
LAND USE



The Land Use section places Brookview within the context of the Claymont Hometown Overlay District and establishes the zones within Brookview. It also introduces the Regulating Plan, which establishes the basic framework of the neighborhood. Land Use and Density Ranges are established for each block of the neighborhood.

SECTION 2

URBAN STANDARDS



Two Dimensional Elements:

This section establishes the two-dimensional requirements and illustrates some of the requirements included in the Regulating Plan, such as the parameters for building locations and frontage occupancy, parking configurations and requirements, and block dimensional standards.

Three Dimensional Elements:

This section also establishes standards for the three dimensional elements of the neighborhood. Standards include building heights, architectural urban design features, private frontage types, and materials.

SECTION 3

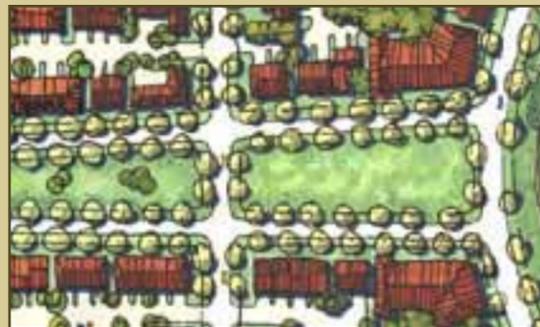
THOROUGHFARE STANDARDS



These standards establish the dimensional requirements of cartways, tree planting strips, sidewalks, and curb return radii, as well as standards for elements within the right-of-way such as the placement of street trees and lights.

SECTION 4

OPEN SPACE & LANDSCAPE



This section identifies each open space and open space type and then specifically characterizes each open space. This characterization establishes the design intent for each space and is the basis for further design development. General landscape standards for furnishings and materials are also included.

SECTION 5

ARCHITECTURAL STANDARDS



These standards apply to all buildings. The section is divided into "Mixed-Use and Live-Work architectural standards" and "General Architectural Standards". The scope of the standards includes general composition, such as building organization and orientation, façade composition, and entries.

Appendix

DEFINITION OF TERMS



This section defines the terms used throughout the Brookview Design Guidelines.

THE DESIGN GUIDELINES

Adherence to the Design Guidelines is mandatory.

New Castle County has adopted the Claymont Community Redevelopment Plan and a Hometown Overlay District enabling ordinance to perpetuate and enhance the character of traditional early settlement areas while encouraging redevelopment. A Manual of Design Guidelines was developed as a part of the Claymont Community Redevelopment Plan and adopted in October 2004. The Claymont Hometown Overlay District allows for modifications to the UDC requirements in order to achieve the desired type of development characterized by traditional neighborhoods.

The Brookview Design Guidelines have been developed as part of the requirements for incorporation into the Hometown Overlay Zone. The Brookview Design Guidelines are conceptually aligned with the spirit of the Claymont Manual of Design Guidelines. However, they are more specific to the Brookview site and modify some of the standards stated in the Claymont Guidelines. As a part of the approval process, the Brookview Design Guidelines have been approved by the Claymont Design Review Advisory Committee and the New Castle County Council has approved the incorporation of the Brookview site into the Claymont Hometown Overlay Zone and has approved the Brookview Design Guidelines. Where standards differ from the Claymont Community Redevelopment Plan: Manual of Design Guidelines, the Brookview Design Guidelines will take precedence over the Claymont Community Redevelopment Plan: Manual of Design Guidelines. Where the Brookview design guidelines are silent, the Claymont Community Redevelopment Plan: Manual of Design Guidelines shall govern.

The Brookview Design Guidelines regulate the permitted land uses, the two-dimensional layout, the three-dimensional parameters, thoroughfare standards, open space standards, and basic architectural standards. The adjacent Section Headings include a description of the contents of each section.

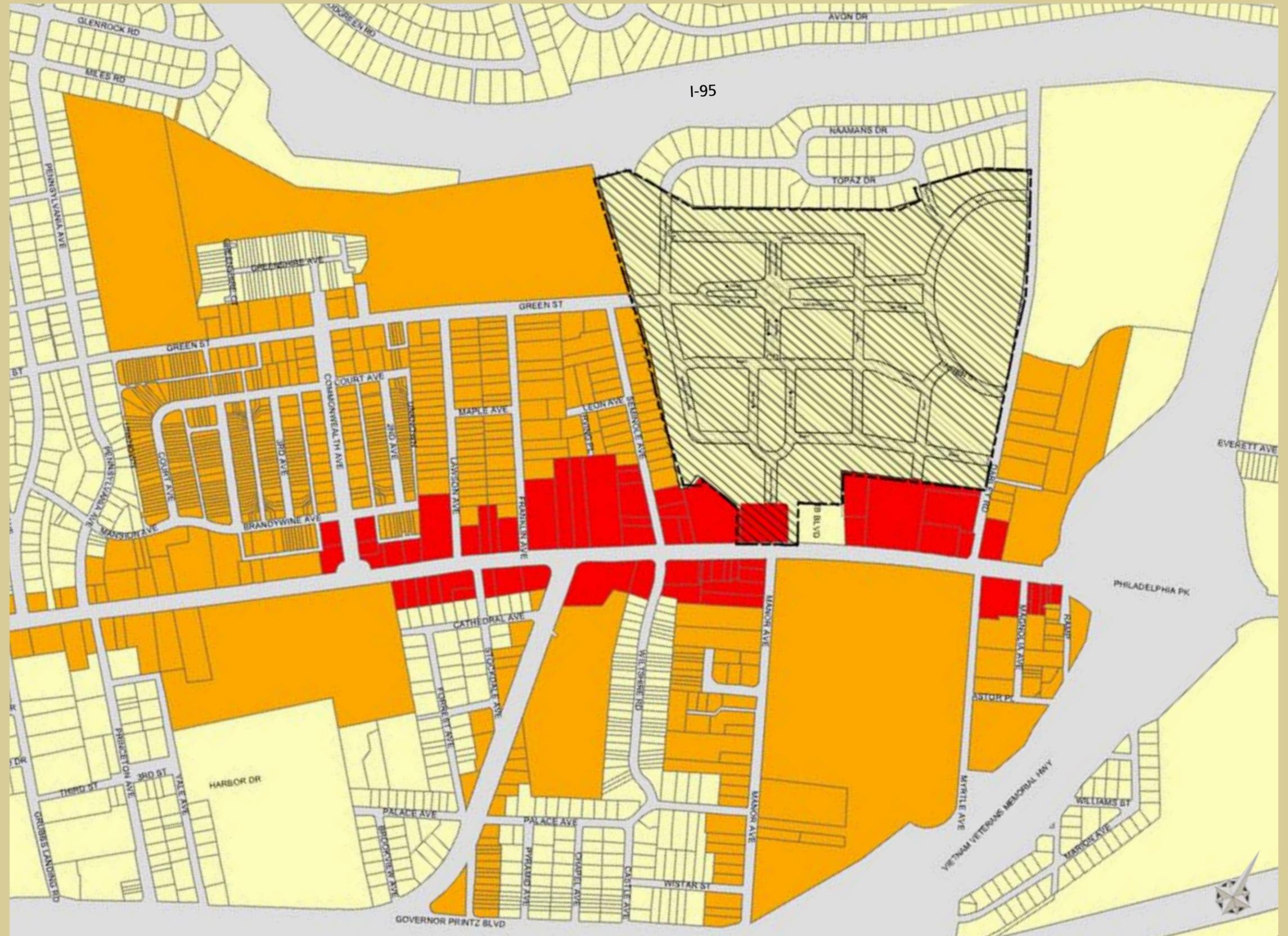
HOMETOWN OVERLAY DISTRICT

Zones

The Brookview site will primarily fall into the Transition Zone, with a small portion along Philadelphia Pike falling into the Core Claymont Center Zone.

The Brookview Design Guidelines build on the previously developed Claymont Community Redevelopment Plan: Manual of Design Guidelines. That set of guidelines breaks Claymont into three zones:

1. Core: Claymont Center Zone
2. Transition Zone
3. Edge Zone



Claymont Community Redevelopment Plan: Hometown Overlay Zones

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Brookview: Hometown Overlay Zones

BROOKVIEW ZONES

Core: Claymont Center Zone-Philadelphia Pike

A portion of the Brookview site has frontage along Philadelphia Pike. As such, the property adjacent to Philadelphia Pike will be incorporated into the Claymont Center Zone. The standards established in the Claymont Community Redevelopment Plan: Manual of Design Guidelines, Claymont Center (Section 2.2) shall apply. However, the following modifications shall apply.

1. The minimum building height permitted will be three stories, and the maximum building height permitted is four stories. Additional building height requirements and garage height requirements are found in Section II.
2. The maximum structured parking heights five stories (six levels) when wrapped by 4-story building with pitched roofs and four stories (five levels) for building with flat roofs and a 4-foot minimum parapet height.
3. There is to be no maximum FAR.
4. The Build-to-Line shall be as noted in the corresponding diagram included in this document.
5. Parking shall follow the location and design parameters established in this document.
6. There shall be no maximum building footprint.

Transition Zone

The remainder of the Brookview site will fall into the Transition Zone. The standards established in the Claymont Community Redevelopment Plan: Manual of Design Guidelines, Transition (Section 2.3) shall apply. However, the following modifications shall apply:

1. There is to be no maximum FAR.
2. The maximum building height shall be 4 stories. Additional building height requirements and garage height requirements are found in Section II.
3. The maximum structured parking heights five stories (six levels) when wrapped by 4-story building with pitched roofs and four stories (five levels) for building with flat roofs and a 4-foot minimum parapet height.
4. The maximum building footprint shall be 43,000 S.F. excluding structured parking. There is no maximum footprint for structured parking.

REGULATING PLAN

The Regulating Plan is based on the Master Plan developed at the Brookview charrette. It is a precise document that establishes the basic framework for the neighborhood by locating streets, locating civic/public spaces (such as squares, greens, medians, etc.), regulating street types and dimensions, defining setbacks/Build-to-Lines, and specifying building street frontage occupancy requirements. This document is also the basis for the rezoning site plan. The remainder of the Design Guidelines illustrate these key principles and regulate additional parameters elaborated on this basic framework.

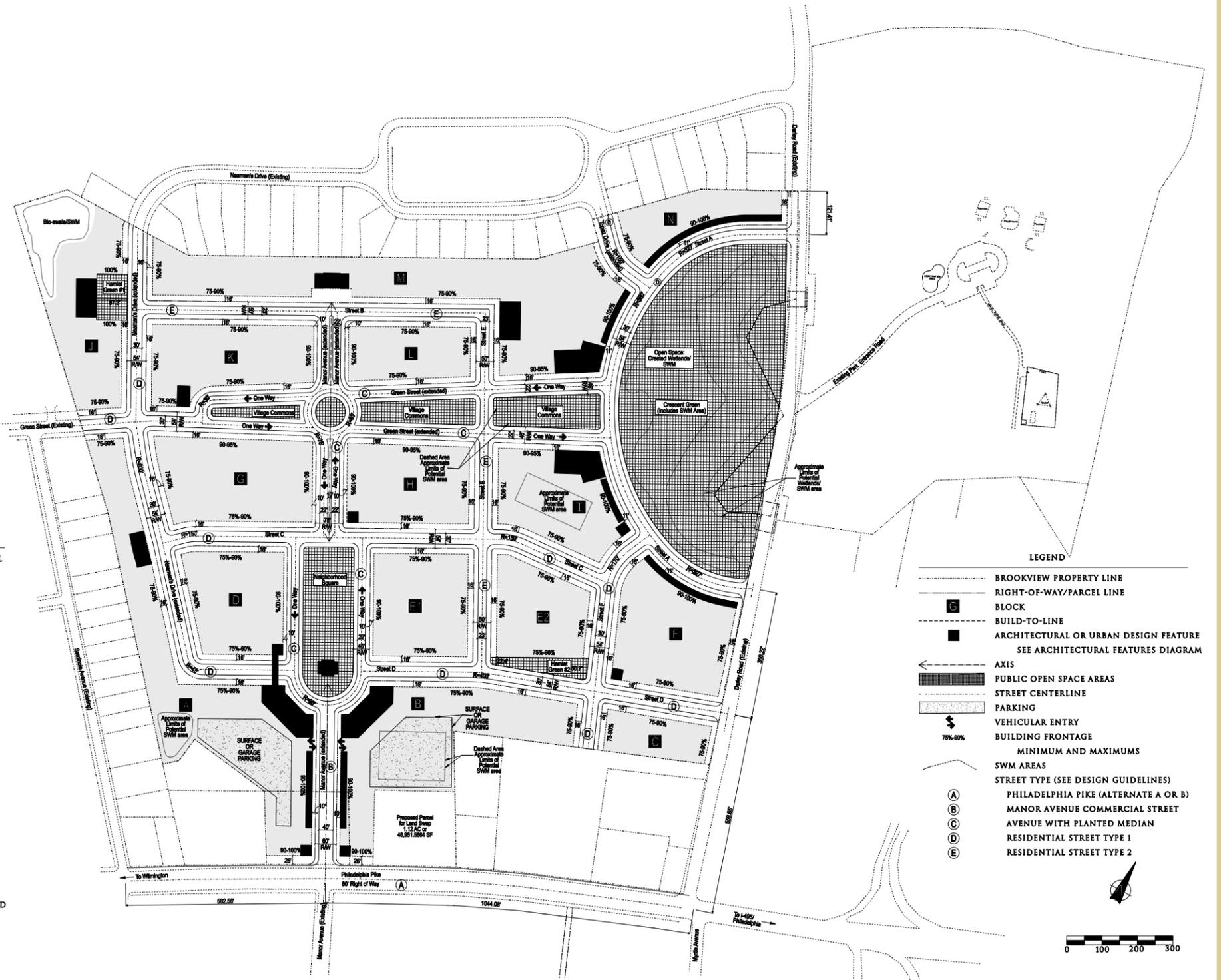
A full-size version of the Regulating Plan at 1" = 100' is attached at the end of this document.

It is also available in digital format.

Minor adjustments to street dimensions and alignments necessary to meet DelDOT technical requirements shall be permitted.

NOTES:

- SEE BROOKVIEW DESIGN GUIDELINES FOR ADDITIONAL CRITERIA AND DIAGRAMS PERTAINING TO ITEMS SUCH AS:
 - HOMETOWN OVERLAY DISTRICT
 - BROOKVIEW ZONE
 - REGULATING PLAN
 - DENSITY RANGE: MAXIMUM
 - DENSITY RANGE: MINIMUM
 - CHARACTER AREAS
 - BUILDING HEIGHTS
 - ARCHITECTURAL URBAN DESIGN FEATURES
 - PARKING AND SERVICE
 - BLOCK SIZE
 - BUILDING TYPES
 - THOROUGHFARE STANDARDS
 - FRONTAGES
 - OPEN SPACE / URBAN DESIGN CHARACTER
 - LANDSCAPE STANDARDS
 - ARCHITECTURAL STANDARDS
- ALLEY AND DRIVEWAY ENTRANCES:
 - A. ENTRANCES SHALL NOT BE LOCATED ON A STREET OR SECTION OF STREET THAT FRONTS ON A PUBLIC GREEN SPACE AS NOTED IN THE LAND USE DIAGRAM
 - B. ENTRANCES SHALL BE LOCATED ALONG STREETS THAT DO NOT FRONT ON A PUBLIC GREEN SPACE AS NOTED IN THE LAND USE DIAGRAM.
 - C. ENTRANCES SHALL ALIGN WITH EACH OTHER WHEN ACROSS A STREET.
 - D. ENTRANCES SHALL BE A MINIMUM OF 55 FEET FROM THE INTERSECTION AS MEASURED FROM THE RIGHT-OF-WAY.
- STORMWATER MANAGEMENT AREAS SHALL BE DESIGNED TO A MAXIMUM DEPTH OF 2-1/2 FEET AND SHALL BE PLANTED WITH A MIX OF PLANT MATERIAL.



Regulating Plan

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BROOKVIEW

JANUARY 16, 2006

Regulating Plan



LAND USE

Land Use is generally flexible within the neighborhood as long as the buildings and parking meet the requirements of the Regulating Plan and follow the Design Guidelines. The exceptions to this are noted in the adjacent diagram where certain uses are very specifically required in specific geographic locations.

Retail Mixed-Use buildings are required along Philadelphia Pike in order to create the Retail Main Street specified in the Claymont Community Redevelopment Plan.

Live-Work units along Manor Avenue are required as a transition from Philadelphia Pike and as a screen for the parking behind the main street retail.

High Density four(4)-story buildings with structured parking are not permitted adjacent to the Ashbourne Hills neighborhood in order to provide a transition to the single-family homes outside of the Hometown Overlay District. Two story building shall be used as a transition to Ashbourne Hills along Topaz Drive and Naaman's Drive- See Building Heights

- Retail Mixed-Use Required
Structured Parking Permitted
- Live-Work Required
Structured Parking Permitted
- Residential Permitted
 Residential Mixed-Use Permitted
Live-Work Permitted
Structured Parking Permitted
- Residential Permitted
 Residential Mixed-Use or Live-Work Permitted
Only at the Corners of Street C & Manor Avenue
for a Maximum Distance of 60 Feet Along Either Street
Structured Parking Permitted
- Residential Permitted
Structured Parking Permitted
- Residential Permitted
Structured Parking Prohibited
- Civic Open Space Required
Created Wetlands Required as Storm Water
Treatment in Crescent Green

Land Use

BUILDING MIX

The two diagrams and charts on this page and the facing page establish permitted building types and the maximum and minimum density for the overall Brookview site and for each individual block/parcel. A maximum and a minimum density has been established to provide for flexibility in the building program without requiring a developer to go through a "formal" process before the County Council, but rather to submit a modified program as a minor re-subdivision.

Types:

The adjacent diagram and chart on this page depict the range of building types permitted in each block.

Building Type Mix:

- A mix of building types is required throughout the Brookview site.
- A minimum of 5 building types shall be used through out the site.
- A minimum of two(2) Building Type Groups per block is required with the exception of blocks C,D, E1, E2 and O,P,Q, and R.
- A maximum number of 40% of any one building type shall be permitted.

Permitted Building Types:

BLOCK	BUILDING TYPE GROUPS														
	1	2	3	4	5	6	7	8							
	BUILDING TYPES														
	Single-Family Detached	Duplex (Detached Garage)	Duplex (Integral Garage)	Townhouse (Detached Garage)	Townhouse (Integral Garage)	Stacked Townhouse (Integral Garage)	Manor House	Condo / APT (Integral Garage)	Condo / APT (Surface Parking)	Condo / APT (Structured Parking)	Live-Work	Mixed-Use (Surface Parking)	Mixed-Use (Structured Parking)	Institutional	Community
A		•	•	•	•	•	•	•	•	•	•	•	•	•	•
B		•	•	•	•	•	•	•	•	•	•	•	•	•	•
C		•	•	•	•	•	•	•	•	•	•	•	•	•	•
D		•	•	•	•	•	•	•	•	•	•	•	•	•	•
E1		•	•	•	•	•	•	•	•	•	•	•	•	•	•
E2		•	•	•	•	•	•	•	•	•	•	•	•	•	•
F	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
G	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
H	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
I	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
J	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
K	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
L	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
M	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
N	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
O															
P															
Q															
R															
S															



Illustrative representation of a maximum density scheme

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DENSITY RANGE: MAXIMUM & MINIMUM

The density for each block is listed in the chart below.

DENSITY RANGE:

- The maximum number of units permitted on the Brookview site is 1,202 D.U.
- The minimum number of units permitted on the Brookview site is 1,000 D.U.

MAXIMUM & MINIMUM RANGE:

The adjacent diagram and chart show the maximum & minimum range of units per block.

Block	No. of D.U.
A	88-173
B	80-96
C	13-23
D	54-125
E1	57-126
E2	47-108
F	39-70
G	38-69
H	33-60
I	35-64
J	23-42
K	31-56
L	21-38
M	63-114
N	21-38
O	None Permitted
P	None Permitted
Q	None Permitted
R	None Permitted
S	None Permitted

BUILD-TO-LINE

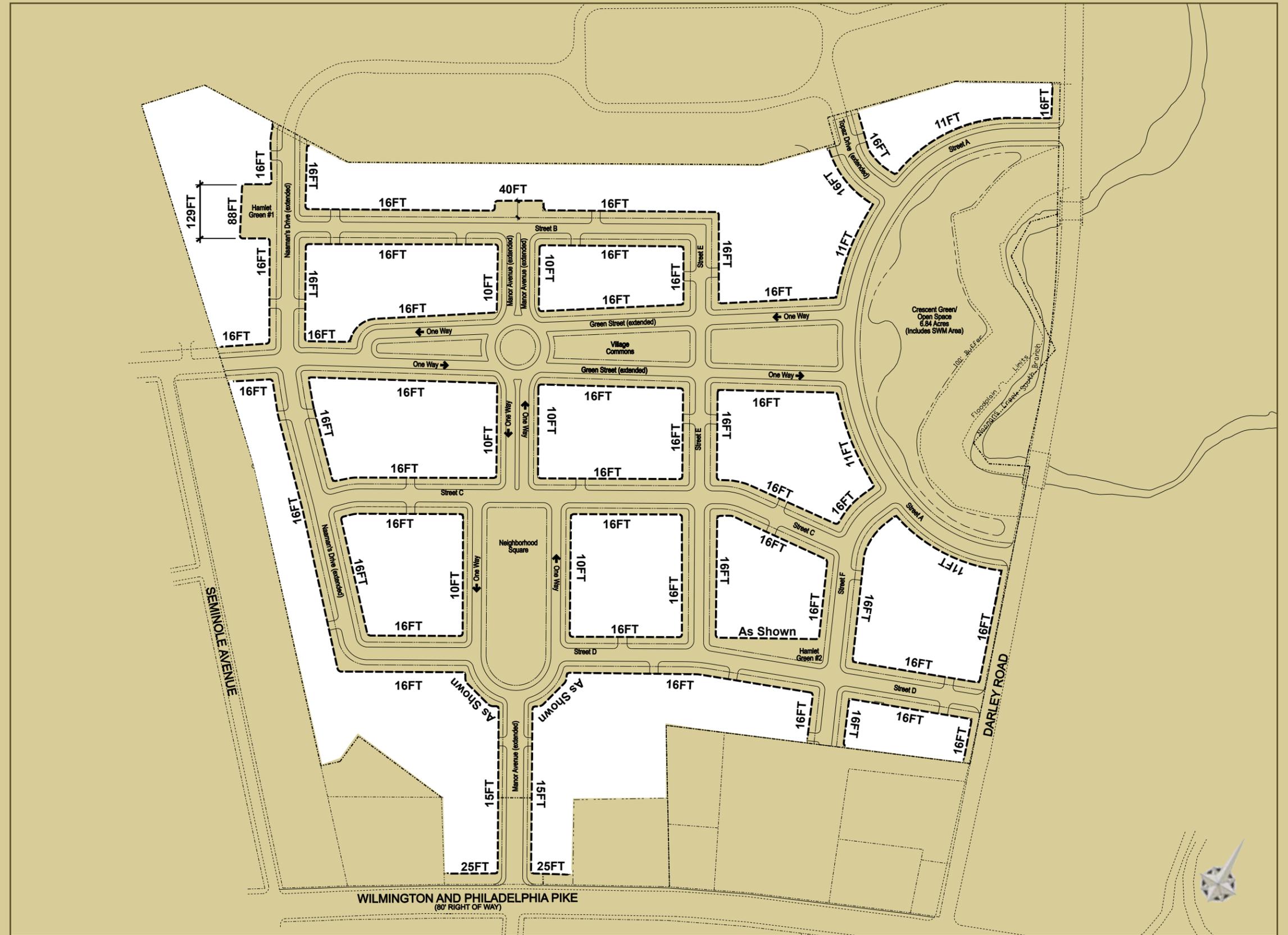
The most important element in defining the public realm and streets is the street wall. This street wall is made up of building facades that are built on a Build-to-Line. The Build-to-Line is the opposite of the “setback” line in that a setback line establishes the minimum front yard, with buildings permitted to be located further back from that minimum dimension – Conversely, a Build-to-Line requires that buildings must be built up to the Build-to-Line and are not permitted to be located further back from that line. The adjacent diagram depicts the required Build-to-Lines for all streets.

Precise locations for Build-to-Lines can be found in the attached Regulating Plan. Build-to-Lines are measure from the R.O.W. line.

In order to provide for façade articulation, building façades may step back a maximum of 2’ from the Build-to-Line for a maximum of 30% of the building face along a block face.

Porches and stoops may project beyond the Build-to-Line.

Individual buildings may be recessed from the Build-to-Line when required to save an existing tree.



Build-To-Line Diagram

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Frontage Occupancy Diagram

FRONTAGE OCCUPANCY

Frontage occupancy is the minimum amount of building face that must be built along a Build-to-Line. This ensures that the street wall is built that will spatially define the streets and public realm. The more urban the setting, as will be found along Philadelphia Pike, and the greater the intended spatial definition, the greater the frontage occupancy requirement. Frontage occupancy requirements apply to all floors of buildings (excluding occupied or unoccupied space in roofs). If an individual building is recessed from the Build-to-Line to save an existing tree or omitted to save an existing tree, that frontage shall be counted as occupied frontage.

Buildings:

1. Shall be located at block corners. It is not permitted that any voids (what is left after subtracting the minimum frontage occupancy) be located at block corners.
2. Shall be located with front facades along Build-to-Lines.
3. Shall have two primary facades (composed of the same materials) that are oriented to the two streets when located at block corners.
4. Shall occupy the Build-to-Line at the percentages shown in the adjacent diagram and on the Regulating Plan.
5. Single buildings that form a 15', or more narrow, courtyard by recessing a portion of the occupied building a maximum of 30' from the Build-to-Line shall be measured (for frontage occupancy purposes) as the full width of the building parallel to the Build-to-Line. - Total actual courtyard widths shall not exceed 17% of the total Build-to-Line frontage.
6. Town House strings that are designed as a symmetrical composition with the end units located along the build-to-line, with the middle units recessed no more than 6', and all the middle units having a continuous porch that occupies the build-to-line, shall be permitted and shall be counted as occupied frontage for the entire length of the building.

Alley and Driveway Entrances:

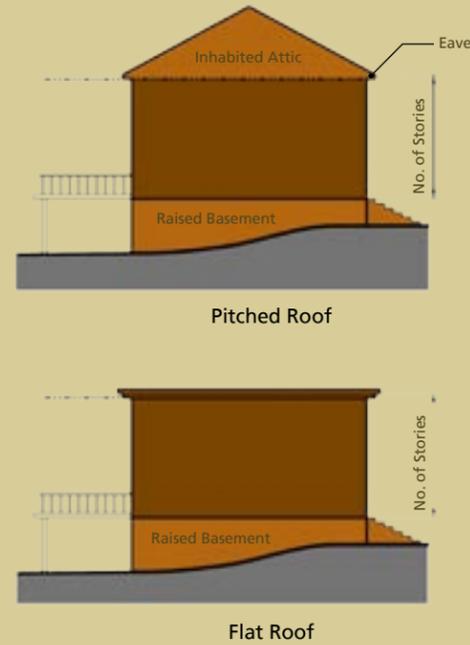
1. Shall not be located on a street, or section of street, that fronts on a public green space as noted in the Land Use Diagram.
2. Shall be located along streets that do not front on a public green space as noted in the Land Use Diagram.
3. Shall align with each other when across a street.
4. Shall be a minimum of 55' from an intersection measured from the Right-of-Way.

BUILDING HEIGHTS

The adjacent diagrams depict the requirements for building heights. Some areas require a specific building height, such as along Philadelphia Pike where a greater height is required to define the larger street and to locate sufficient uses to enliven main street, whereas, some areas permit a range of heights.

Buildings:

1. At block corners shall not have a lower height than any building on either block face.
2. Shall be measured by the number of stories as depicted in the adjacent diagram.
3. Requiring tower elements may have the tower element exceed the maximum building height by one story.
4. One story buildings shall not be permitted.
5. Raised basements shall not exceed 1/2 of a story in height along the front façade.



Structured Parking:

1. Shall have a maximum height of five stories (six levels) when wrapped by 4-story buildings all with pitched roofs and four stories (5 levels) when wrapped by any buildings with flat roofs and a 4-foot minimum parapet.
2. No portion of the structured parking shall be visible from the street, except at the actual vehicular entry point.
3. Shall not exceed in height the shortest building on the block by more than one story when a pitched roof is used.
4. Shall not exceed in height the shortest building on the block when a flat roof is present on any building on the block.

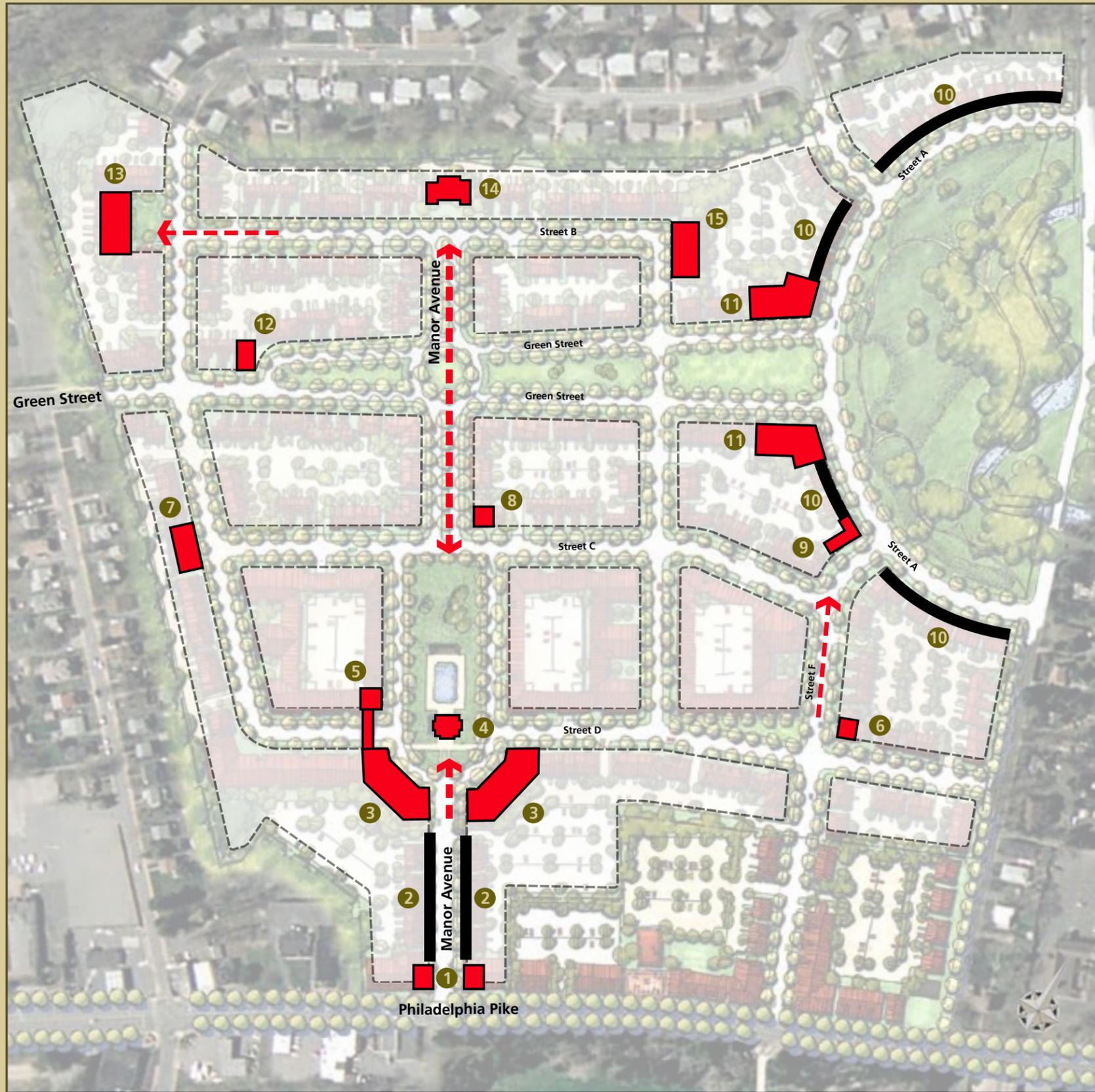
Streets:

1. Requiring three to four story buildings shall have a frontage occupancy composed of a minimum of 25% three story building height.
2. Requiring two to four story buildings shall have a frontage occupancy composed of a maximum of 75% four story building height.



Building Height Diagram

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Architectural Features Diagram



Symmetrical Facade



Large Building Composed as Multiple Facades



Symmetrical Façade on Axis with Street



Prominent Building Element



Tower Element

ARCHITECTURAL URBAN DESIGN FEATURES

Buildings:

- 1 Shall have tower elements at the corners of Philadelphia Pike and Manor Avenue.
- 2 Shall be composed to look like smaller buildings built over time. The maximum length permitted to look like one building is 48'. Eaves of adjacent facades shall vary.
- 3 At the corners of Naaman's Drive & Manor Avenue shall be identical at Block A & B.
- 4 Relocated Wertmuller House or other prominent structure shall be located on axis with Manor Avenue and shall have a symmetrical facade.
- 5 Shall have a tower element.
- 6 Shall be designed such that the massing of the building correlates with the width of the green on the opposite side of the street.
- 7 Shall be designed with a prominent element on axis with Street C.
- 8 Shall have a tower element at the corner of Street C and Manor Avenue.
- 9 Shall have a tower element.
- 10 Along the Crescent shall be the same style, shall have walls of the same material and color, shall be masonry, shall have the first story articulated in the same manner as adjacent buildings and shall have covered stoops. Vertical elevation changes between building shall be uniform.
- 11 At the corners of Green Street and Street A shall be identical.
- 12 Shall have a prominent facade facing The Commons.
- 13 Shall be designed such that a prominent element shall be centered on the axis of Street B.
- 14 Shall have a building(s) composed symmetrically about the axis of Manor Avenue.
- 15 Shall be designed with a prominent element on axis with Street B.

GENERAL DEVELOPMENT STANDARDS

In addition to the development standards found throughout these guidelines, the following standards shall apply.

OPEN SPACE:

1. The required open space shall be 15% of the total parcel land area - or 9.9 AC.
2. Created wetlands, bio-swales, and other similar elements shall be counted toward Open Space.

ENCROACHMENTS AT BUILD TO LINE:

1. Stoops, porches, bay windows, trim, eaves, arcades, balconies, major and minor focal elements, cupolas, fire places, and awnings shall be permitted to encroach beyond the Build-to-Line
2. Buildings may step back from the Build-to-Line a maximum of 2' and still count toward Frontage Occupancy, but recessed portions of buildings may not exceed 30% of the frontage requirement.

PERIMETER BUFFERS:

1. The minimum perimeter buffer between adjacent residential parcels shall be 2'.
2. There shall be no required buffer between adjacent commercial parcels.
3. The perimeter buffer between the Brookview site and the adjacent residential neighborhoods shall be enhanced in order to adequately buffer the existing residences from the proposed alleyways. A 10' minimum buffer with a 0.2 opacity shall be provided between the Brookview site and the existing residences along Seminole Avenue and those in Ashbourne Hills, except where dimensionally not practical where a 2' minimum buffer with 6' height wood fence shall be used.

WORKFORCE HOUSING:

1. 10% of the Brookview units shall be Work Force Housing.
2. Work Force Housing shall be defined in the Development Agreement.
3. Work Force Housing shall be dispersed throughout the Brookview site and shall be physically indistinguishable from Market Rate Housing.
4. Work Force Housing shall be integrated into a minimum of 50% of the blocks.

ALLEYS:

1. Alleys shall be privately owned and maintained.

PARKING LOT DRIVEWAY ENTRIES:

1. Parking lot driveway entries shall be 20' in width.

STORM WATER MANAGEMENT:

1. Storm Water requirements shall be addressed through green technology best management practices such as bio-swales and created wetlands.
2. Storm water requirements for the entire site shall be addressed in the first phase of construction.

HOME OWNERSHIP / RENTAL MIX:

1. In accordance with the goals of the Claymont Redevelopment Plan, the Brookview development will contribute to an increase in the overall homeownership rate in Claymont.

PARKING LOT LANDSCAPING:

1. Parking lots shall meet the New Castle County Parking Lots Landscaping requirements.
2. Integral garage units shall have a planting island between every garage and shall be plated with a shade tree.
3. It is strongly encouraged that every island in a parking lot.

TOWN HOUSE LENGTH:

1. The maximum length of a string of Town Houses shall not exceed 8 units.

BUILDING TYPE MIX:

1. See Building Types.

MATERIALS

1. Natural materials are permitted on all facades of buildings. Natural materials are brick, stone, stucco, and wood siding. All materials on Primary Facades shall be natural materials, fiber cement siding (such as Hardiplank, Hardishingle, and Harditrim), or artificial stone that accurately mimics natural stone shall also be permitted on Primary Facades.
2. Natural materials are permitted on building roofs. Natural materials are wood shingles, slate shingles, and metal standing seam roofs. Architectural Grade asphalt shingles are also permitted on main roofs. Artificial materials, including Architectural Grade asphalt shingles, are not permitted on stoops, porches, bay windows, and other similar projections.
3. Artificial materials, including vinyl siding, shall only be used on secondary facades.
4. Vinyl trim shall not be permitted.
5. Wood, EIFS, Synthetic Board (synthetic wood product), fiber cement trim material, extruded polyurethane (such as Fypon) shall be permitted as trim material.
6. Natural and artificial trim & elements such as brackets, door & window surrounds, and columns, shall adhere to historic proportions and dimensions.
7. Wood windows, vinyl clad windows, aluminum clad windows, fiberglass windows, and vinyl windows shall be permitted.
8. For brick and stone facades, vinyl windows shall have an oversized moulding surround that measures a minimum of 3 ½" and shall be recessed into the brick face.
9. For siding facades, vinyl windows shall have trim appropriate to the architectural style (consistent in style, dimensions, and placement).
10. A maximum of two primary materials on a façade shall be used. A primary material is one that occupies one-third or more of the façade (excluding windows) for 3-story building or one-fourth or more of the primary façade (excluding windows) for 4-story buildings. A maximum of our primary material shall be used on a primary façade for 2-story buildings unless a craftsman style is used where the proportions of materials shall be consistent with the historical style.
11. Metal columns shall not be permitted.
12. Exterior light fixtures shall match the architectural style of the building.
13. A minimum of 25% of the Primary Facades throughout Brookview shall be brick, stone, stucco or EIFS. The intention of this requirement is not to specify that each building must be 25% masonry, rather that 25% of the individual facades be masonry.

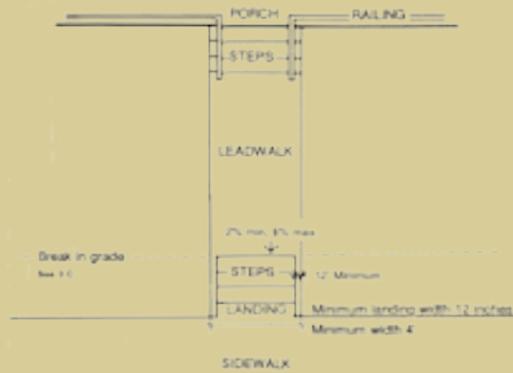
CURBS:

1. Curbs shall be vertical (not mountable).

PRIVATE FRONTAGES: WALKS, LANDINGS, STEPS & GRADING

1. Consistency of Proportions - Front Entrances

- Edge of landing shall align with edge of steps, or extend beyond it by a minimum of 8 inches.
- Landing of the leadwalk steps at sidewalk shall be equal to one stair tread, and never less than 12 inches.
- Lead walks shall be a minimum of 3' in width.



2. Consistency of Materials - Front Entrances

- Steps & landing lead walks shall be constructed of the same masonry material.
- Railing on site steps (if required) shall match front porch railings.

3. Placement of Steps & Landings in front Yards

A. Change of grade

- Slope of front yard shall be between 2% and 5%.
- Slope of the landing and leadwalk shall not exceed 3%.
- Change of grade of the front yards can be accommodated with a maximum of two sets of stairs: One attached to the house stoop and the other at the edge of the sidewalk.
- Both sets of steps shall have consistent tread width.
- Steps shall have at least two risers and a cheekwall.

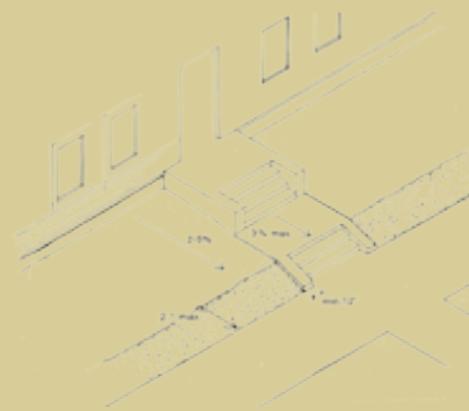
B. Retaining Wall at Side Walk

- Cheekwall of the steps at the sidewalk shall align with the edges of landing at sidewalk.
- Retaining walls may be necessary to grade individual lots to required grades and slopes. Such walls shall match the masonry elements of the house. Segmental retaining walls are not permitted forward of the Build-to-Line
- Retaining walls at sidewalk shall have a maximum height of 30".
- Retaining walls at sidewalks shall be brick or stone veneer.



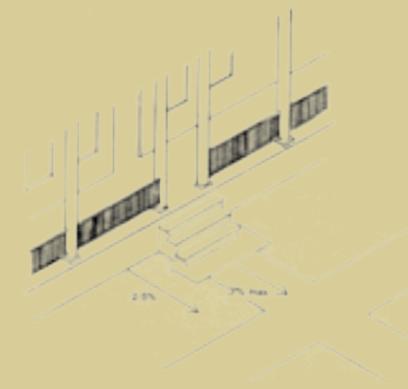
C. Slope at Sidewalk

- Slope of the front yard at edge of sidewalk shall not be greater than 2:1 with a maximum vertical height of 30".
- A change in vertical height greater than 24" shall require a retaining wall.



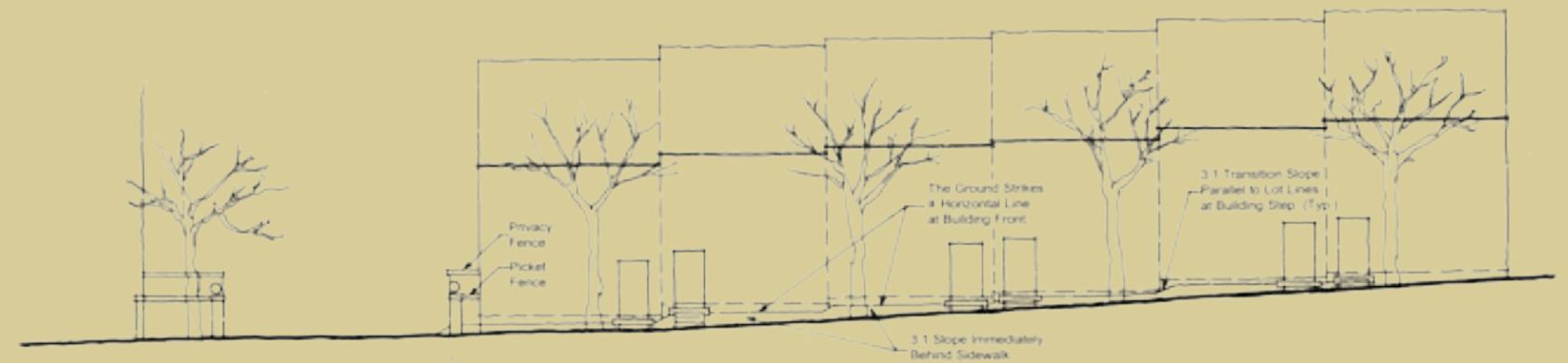
D. Sloped Grade at Front Lead Walk

- Slope of front yard shall not exceed 5%



4. Typical Front Yard Grading

- The ground shall strike a horizontal line at the building façade.
- Single-Family-Detached homes shall transition grade a minimum of 4' from building sides.
- Attached buildings shall transition slope as shown below.



Attached Buildings: Typical Front Yard Grading

PARKING & SERVICE

All garage parking shall be counted toward off street parking and shall supersede the existing UDC 40.22.611.F standard.

Block Configuration

1. Buildings shall occupy the perimeter of a block and front facades shall face the street.
2. Parking shall occur behind the buildings that occupy the perimeter of the block.
3. Exposed alley openings shall be screened with a Wing Wall of one story in height that is the same material as the primary facades of the corner building. Where neither adjacent building is a corner building, the one story Wing Wall shall be the same material as the adjacent building.

On-Street Parking

1. On-Street parking shall be provided on all public streets as permitted by the state department of Transportation and the state Fire Marshall.
2. On-Street parking shall count as visitor parking.

Structured Parking

1. Structured parking shall be located behind the block perimeter buildings.
2. Structured parking shall not be visible from the street, except at the actual vehicular entry points
3. Vehicular and service entries to garages shall be designed to look like a part of the building.

Garages & Integral Garages

1. When integral garages are incorporated into residential structures, garage doors shall not face the street.
2. Garage doors shall not face the street.

Service

1. Service functions shall be located behind buildings.
2. Service functions shall be screened from view.

Parking Ratios

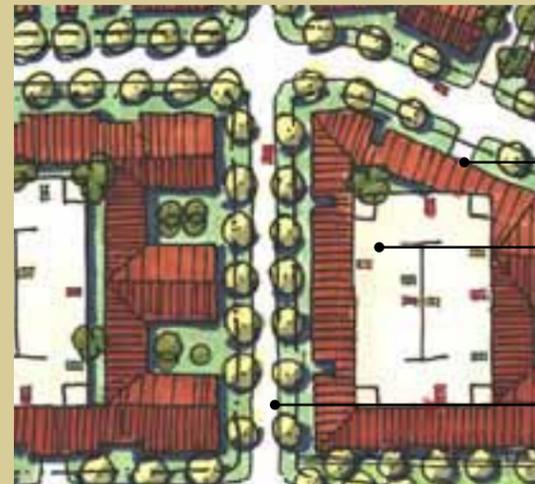
1. Residential uses shall park at a ratio of two off-street parking spaces per dwelling unit. Garage spaces shall count as off-street parking.
2. Live-Work retail uses shall park at a ratio of 4 parking spaces for every 1,000 gross S.F.
3. Retail shall park at a ratio of 4 parking spaces for every 1,000 gross S.F.
4. Institutional uses shall meet the parking requirements listed in the UDC.
5. Parking requirement in Mixed-use block shall be modified per New Castle County Code Section 40.22.616 "Parking Reduction for Multiple Uses".
6. Institutional uses shall meet the parking requirements listed in the UDC.

Parking Landscaping

1. Parking lot landscape requirements are one plant unit per twenty spaces with a minimum of one island for every ten spaces.
2. Where a tree planting island occurs the entire length of a bay, there shall be a minimum of one tree planting island every fifteen spaces and a large shade tree every fifteen spaces in a tree planting island.
3. Where a tree planting island occurs the entire length of a bay, the entire length shall be planted with large shade trees every forty five feet.

Lighting

1. Lighting shall not be high mast lights.
2. Light poles and fixtures shall be compatible with street light poles and fixtures.



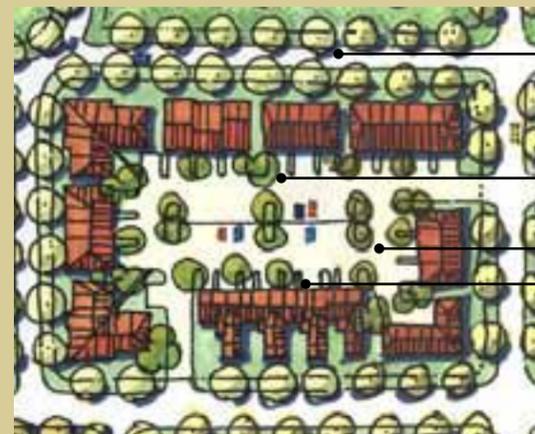
Garage Parking

- Dumpster is hidden under garage
- Garage wrapped with buildings
- On-street parking spaces



Surface Parking with Mixed-Use Buildings

- On-street parking spaces
- Loading spaces
- Parking lot located behind buildings
- Intermittent islands for tree planting every 10 parking spaces minimum
- Loading spaces
- Dumpster enclosure



Surface Parking with Medium Density Building Types

- On-street parking spaces
- Intermittent islands for tree planting every 10 parking spaces maximum
- Parking lot located behind buildings
- Integral parking with tandem spaces



Alley Entry with Wing wall



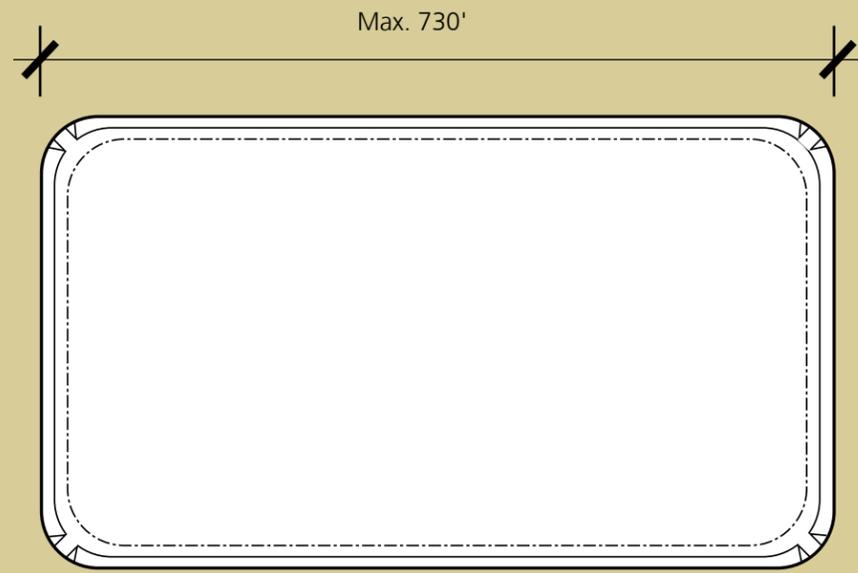
Parking and Service Behind Buildings



Garage Entry Treatment - Units Above

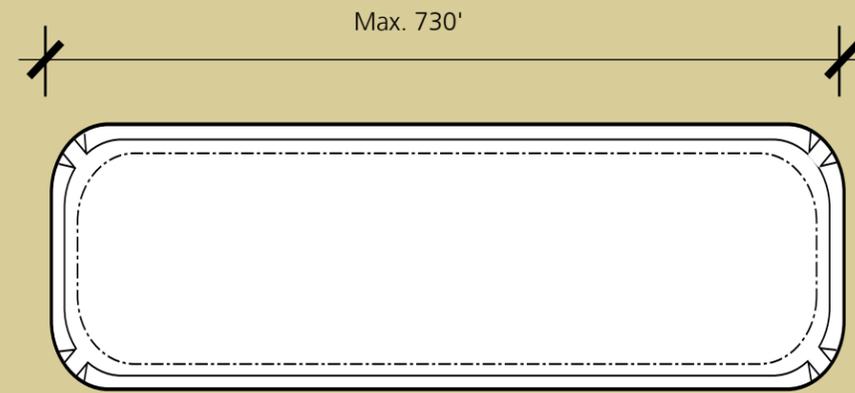
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A. Condo/Mixed-Use Block



The maximum length of any one side of a commercial block is 730 FT.

B. Residential Block



The maximum length of any one side of a Residential block is 730 FT.

BLOCK SIZE

Commercial Block Size

1. The maximum length of a commercial block shall be 730'*.
2. The maximum perimeter of any commercial block shall be 2,500'*.

Residential Block Size

1. The maximum length of a residential block shall be 730'*.
2. The maximum perimeter of any residential block shall be 2,000'*.

Civic / open space block size

1. The maximum length of a civic/open space block shall be 1500'.
2. There shall be no maximum perimeter.

* When a block backs up to an adjacent existing parcel(s) where there is no street to interrupt its length there shall be no maximum block length parallel to the adjacent parcel(s) and there shall be no maximum perimeter length.



The maximum perimeter length (as measured at the face of curb) for commercial blocks is 2500 FT.



The maximum perimeter length (as measured at the face of curb) for residential blocks is 2000 FT.

BUILDING TYPES

Types

This section depicts the range of building types that are permitted within Brookview. It does not specify the exact two-dimensional (plan) dimensions of the buildings, but is intended to describe the types and the range of types, the relationship of the building front to the street, and the relationship of the parking to the building and street.

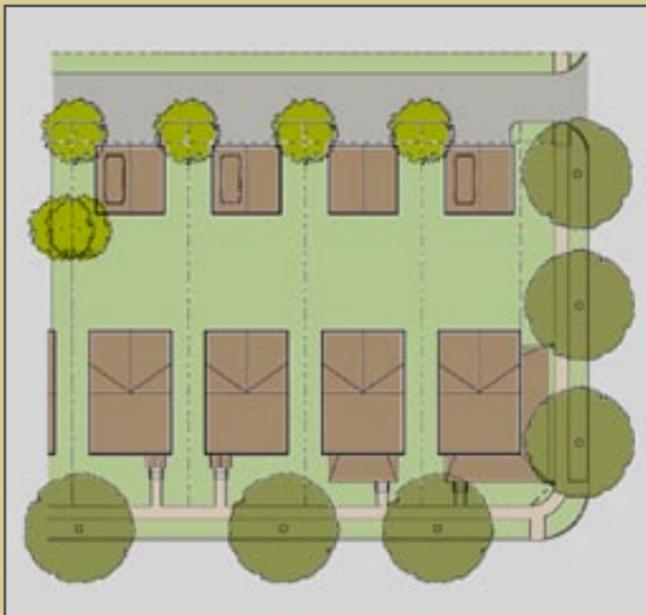
Mix

In accord with the Hometown Overlay District, the Brookview site must contain a mix of building types. The minimum mix of building types is listed in the building mix section (p10).

Parking/Garages

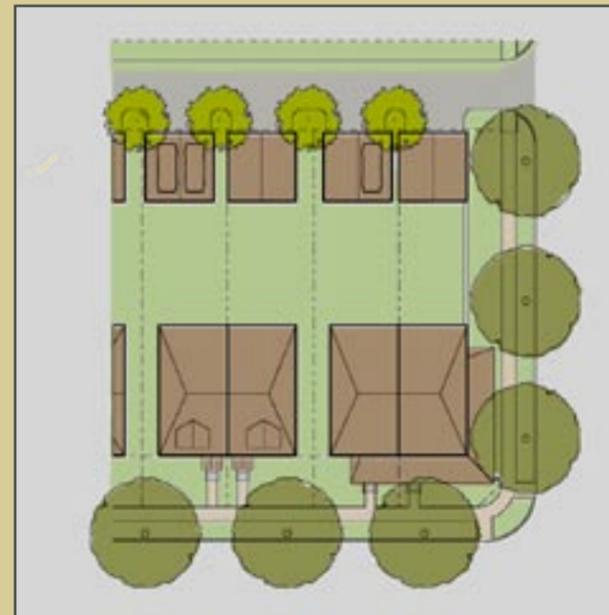
Parking and garage entries may not face the street (except structured parking entries)

Single Family (Detached Garage)



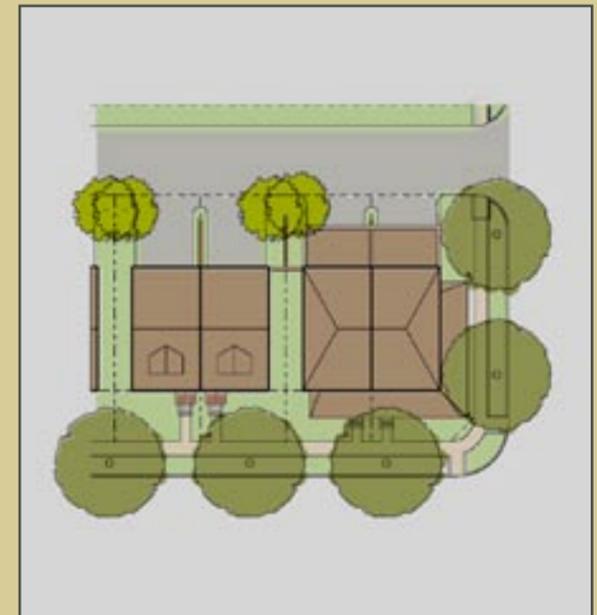
- Principal entry shall face the street
- Parking shall be accessed from an alley or from the rear of the building-Garages shall not face the street
- Primary façade(s) shall face the street

Duplex (Detached Garage)



- Units shall be designed to appear as one large house.
- Duplex units shall be configured as side-by-side units or as one over another.
- Principal entries shall face the street
- Parking shall be accessed from an alley or from the rear of the building-Garages shall not face the street
- Primary Facade(s) shall face the street

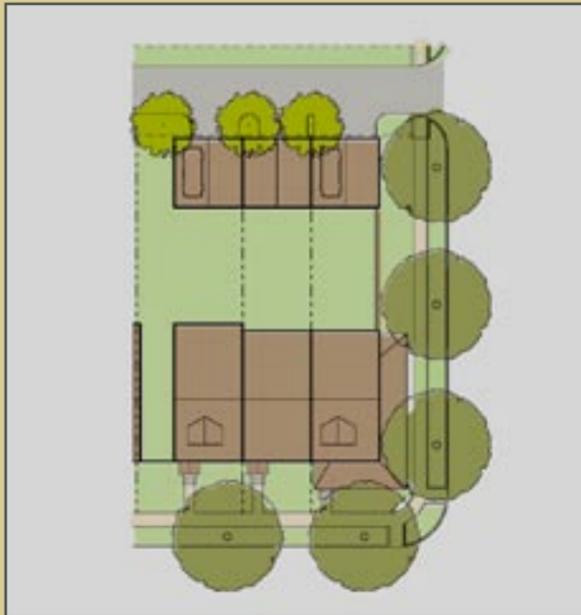
Duplex (Integral Garage)



- Units shall be designed to appear as one large house.
- Duplex units shall be configured as side-by-side units or as one over another.
- Principal entries shall face the street-Garages shall not face the street
- Parking shall be accessed from an alley or from the rear of the building
- Primary Facade(s) shall face the street

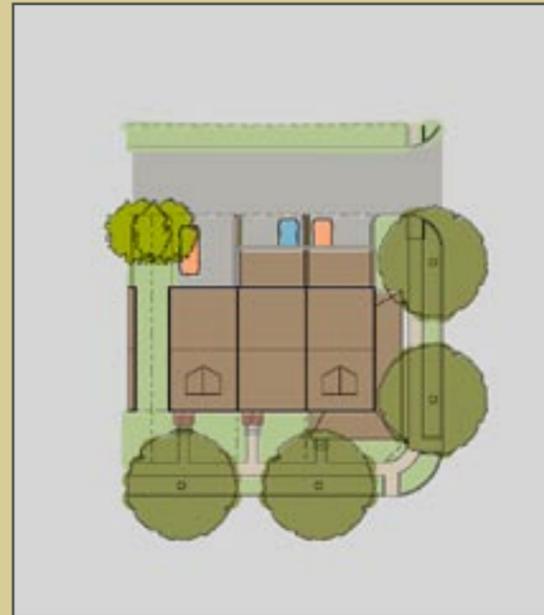
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Townhouse (Detached Garage)



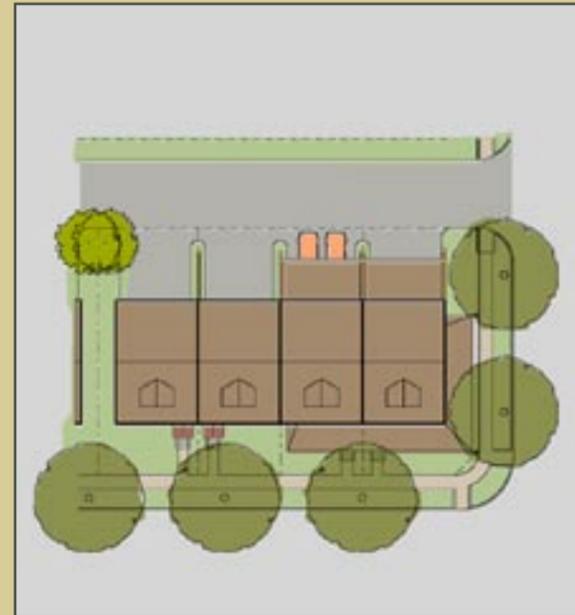
- Town Houses shall be configured as side-by-side units
- Principal entry shall face the street
- Garages shall be accessed from the rear of the structure via an alley or similar service lane
- Primary Facade(s) shall face the street
- House entry shall be located on the first floor
- Maximum number of town houses in a string is 8
- Minimum width of town houses shall be 18'

Townhouse (Integral Garage)



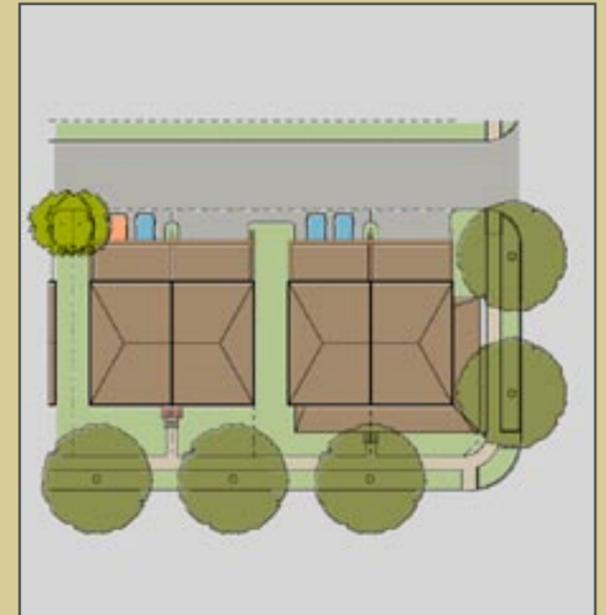
- Town Houses shall be configured as side-by-side units
- Principal entry shall face the street
- Garages shall be accessed from the rear of the structure via an alley or similar service lane
- Primary Facade(s) shall face the street
- House entry shall be located on the first floor
- Maximum number of town houses in a string is 8
- Minimum width of town houses shall be 18'

Stacked Townhouse (Integral Garage)



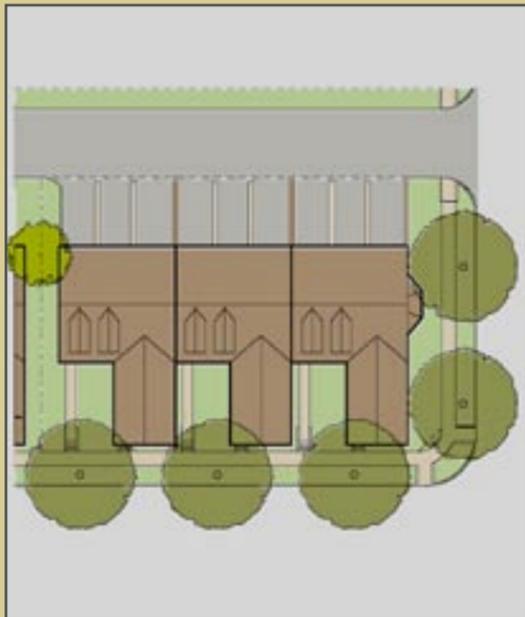
- Two units shall be configured to look like one townhouse
- Principal entry shall face the street
- One stoop shall access two units-One door shall face street
- Garages shall be accessed from the rear of the structure via an alley or similar service lane
- Primary Facade(s) shall face the street
- House entry shall be located on the first floor
- Maximum number of stacked town houses in a string is 8 (16 dwelling units)

Manor House



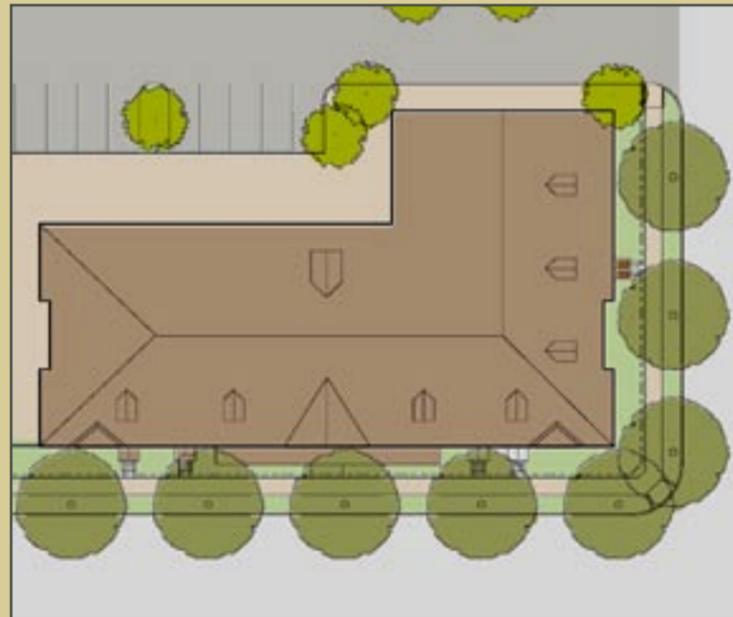
- Four units shall be configured to look like one large townhouse
- One central internal stoop shall house the four unit entries, but only two entry doors may face the street
- Principal entry shall face the street
- Garages shall be accessed from the rear of the structure via an alley or similar service lane
- Primary Facade(s) shall face the street
- House entry shall be located on the first floor
- Maximum number of manor houses in a string is 3 (12 dwelling units)
- Manor houses may occur as independent/detached buildings

Condo/Apt (Integral Garage)



- Three units to six units shall be configured as one building
- Units shall be configured one over another
- Integral garages shall be provided and shall be accessed from an alley or similar service lane
- Buildings may be free standing or may be attached to other unit types
- Primary Facades must face the street
- A minimum of three principal entries must face the street

Condo/Apt (Surface Parking)



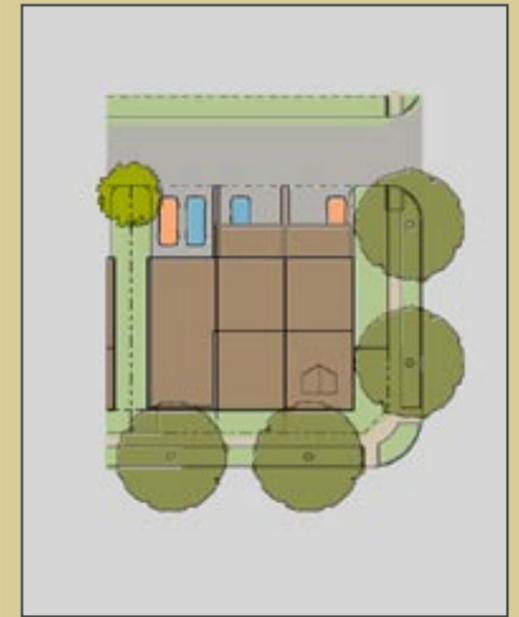
- Six units or more shall be configured as one building
- Units shall be configured one over another
- Surface parking lot shall be located behind buildings that screen the lot from the street
- Buildings shall have a maximum height of four stories
- Buildings may be free standing or may be attached to other unit types
- Primary Facades must face the street
- Ground floor units facing the street shall have individual ground floor entries and stoops

Condo/Apt (Structured Parking)



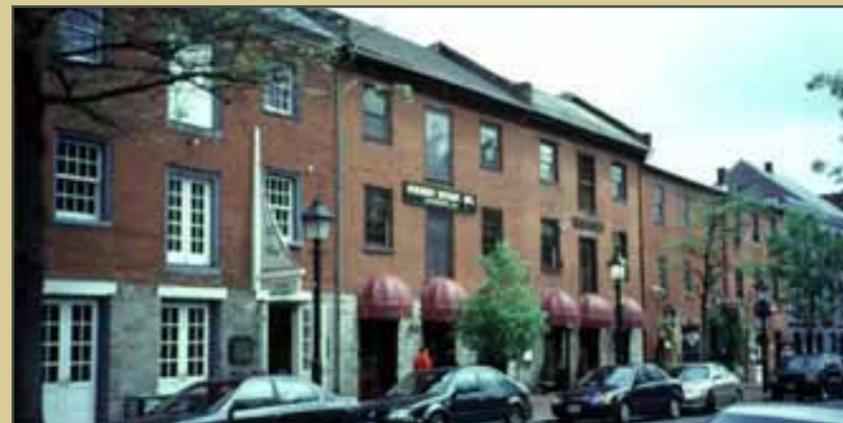
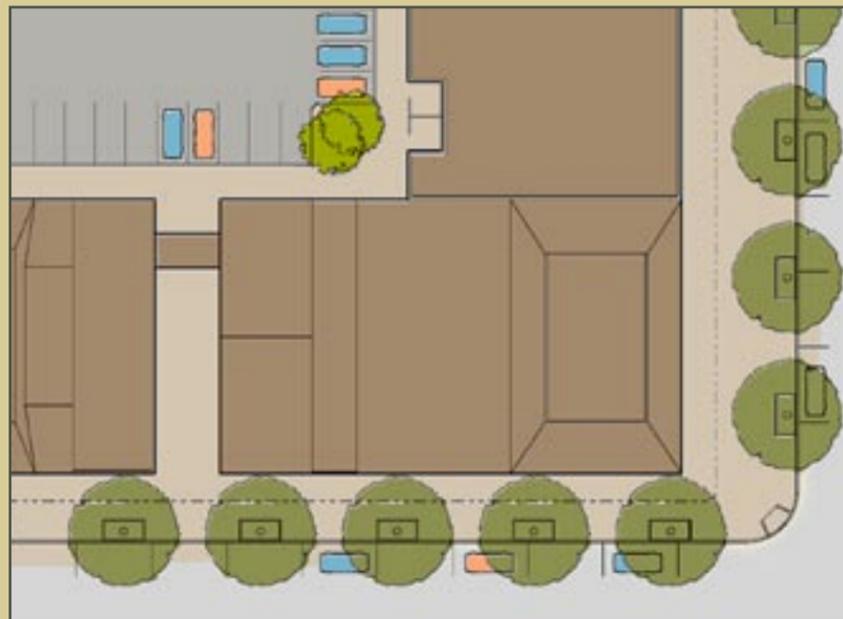
- Units shall be configured one over another
- Corridors access units
- Structured parking shall be located behind the building and shall not be visible from the street
- Buildings shall have a maximum height of four stories
- Primary Facades must face the street
- Recessed porches / patios are not permitted on the first floor

Live-Work



- Commercial space shall be located on the first floor, residential shall be located on the second and third floors
- First floor shall have a retail storefront with a first floor height of 12'-16'
- Commercial entries shall face the street, residential entries shall also face the street
- Parking shall be located behind the buildings
- Primary Facades must face the street

Mixed-Use (Surface Parking)



- Retail space shall be located on the first floor, residential or commercial shall be located on the second, third, and fourth floors-see Land Use
- First floor shall have a retail storefront with a first floor height of 12'-16'
- Primary commercial entries shall face the street, primary residential entries shall also face the street - Additional entries may be located at rear of building
- Parking shall be located behind the buildings
- Buildings shall have a maximum height of four stories
- Primary Facades must face the street
- 2nd to 4th floors shall have access from the front of the building

Mixed-Use (Structured Parking)



- Commercial space shall be located on the first floor, residential or commercial shall be located on the second, third, and fourth floors
- First floor shall have a retail storefront with a first floor height of 12'-16'
- Primary commercial entries shall face the street, residential entries shall also face the street - Additional entries may be located at rear of building
- Parking shall be located behind the buildings
- Buildings shall have a maximum height of four stories
- Primary Facades must face the street
- 2nd to 4th floors shall have access from the front
- Maximum garage height is 5 stories (6 levels) for 4 story buildings with pitched roofs and 4 stories (5 levels) for buildings with flat roofs and a 4 foot minimum height parapet

Institutional / Community



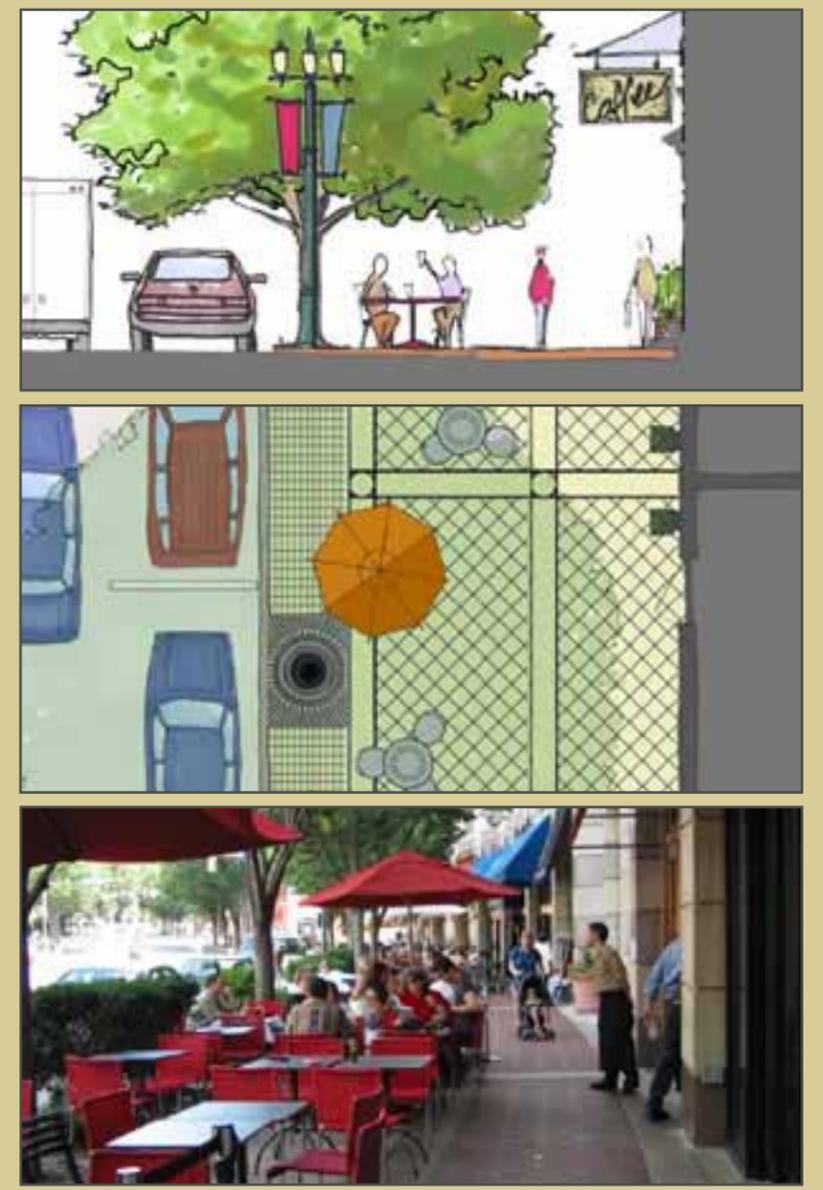
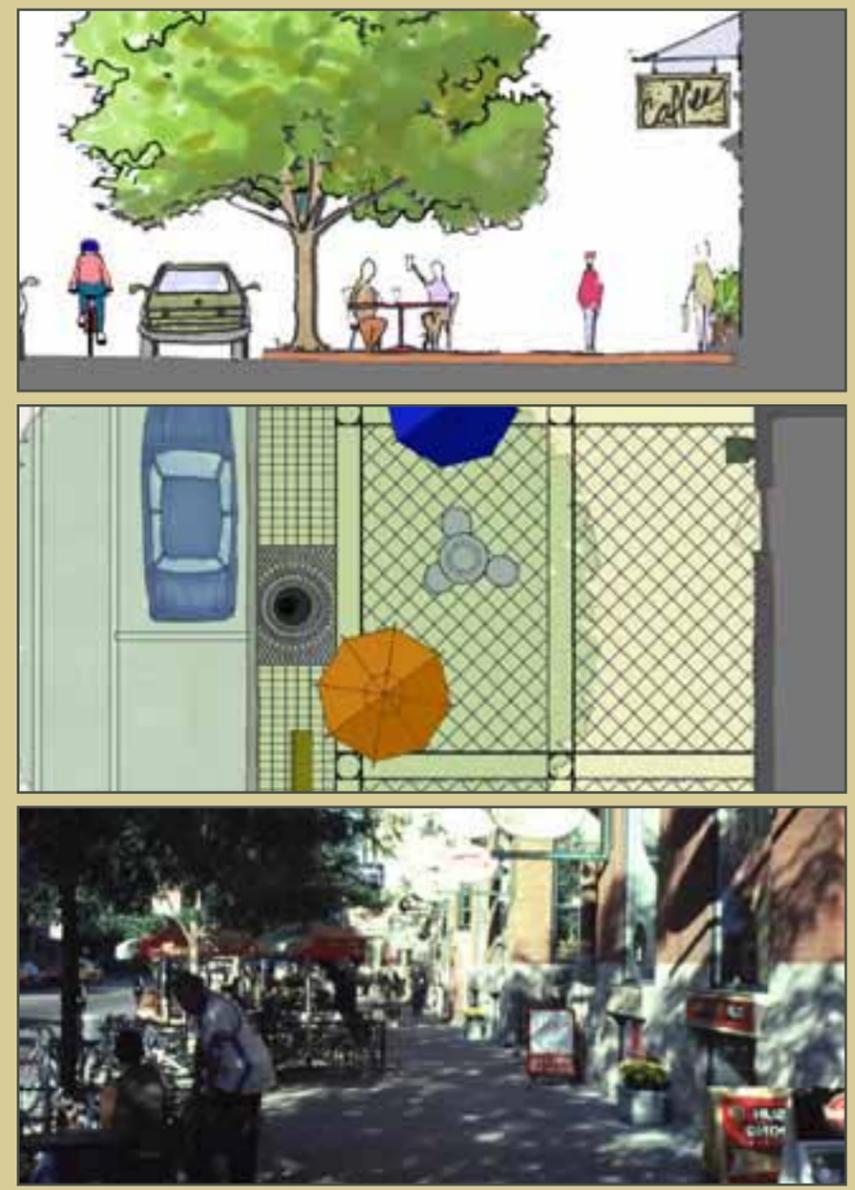
- Community buildings located in civic/open space shall be located on the axis with approaching street and shall have a greater setback than surrounding buildings
- Institutional buildings shall meet the same requirements as Mixed-Use buildings
- Primary building entry shall face the street

PRIVATE FRONTAGES

DESIGN GUIDELINES

Shopfront & Awning: Type 1

Shopfront & Awning: Type 2

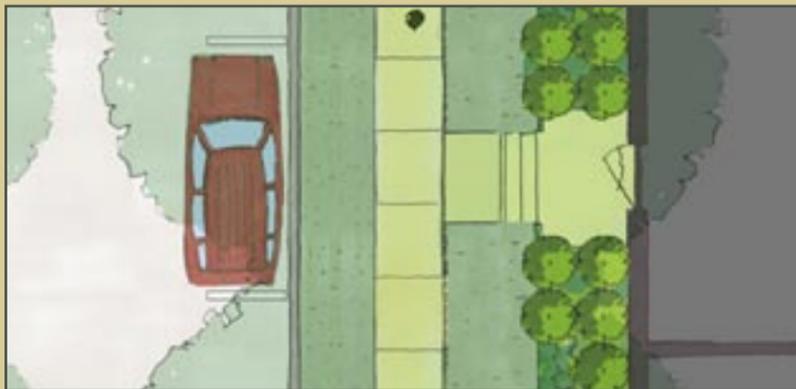


- Entries: Shall be flush with exterior grade.
- Ground Plane: Shall be scored concrete or pavers from curb to face of building.
- Furnishing Location: A 4-foot furnishing zone shall be established contiguous with the curb where street furniture shall be located (see Landscape Standards).
- Frontage Delineation: There shall be no delineation.
- Uses: Cafe seating is permitted.
- Street trees shall be planted in tree pits with tree grates.
- Café seating and product displays (flowers, food, etc.) are encouraged.

- Entries: Shall be flush with exterior grade.
- Ground Plane: Shall be scored concrete or pavers from curb to face of building.
- Furnishing Location: A four foot furnishing zone shall be established contiguous with the curb where street furniture shall be located (see Landscape Standards).
- Frontage Delineation: There shall be no delineation.
- Uses: Cafe seating is permitted.
- Street trees shall be planted in tree pits with tree grates.
- Café seating and product displays (flowers, food, etc.) are encouraged.

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Stoop



- Entries: Stoops shall be used and shall be raised a minimum of 2-risers and a maximum of 10 risers.
- Covered stoops are required.
- Ground Plane: Shall be grass, shrubs or groundcover.
- Furnishing Location: Street lights shall be centered in the tree planting strip that is contiguous with the street curb.
- Frontage Delineation: There shall be no delineation.
- Porches are not permitted.
- Street trees shall be planted in tree planting strip.

Dooryard: Metal Fence



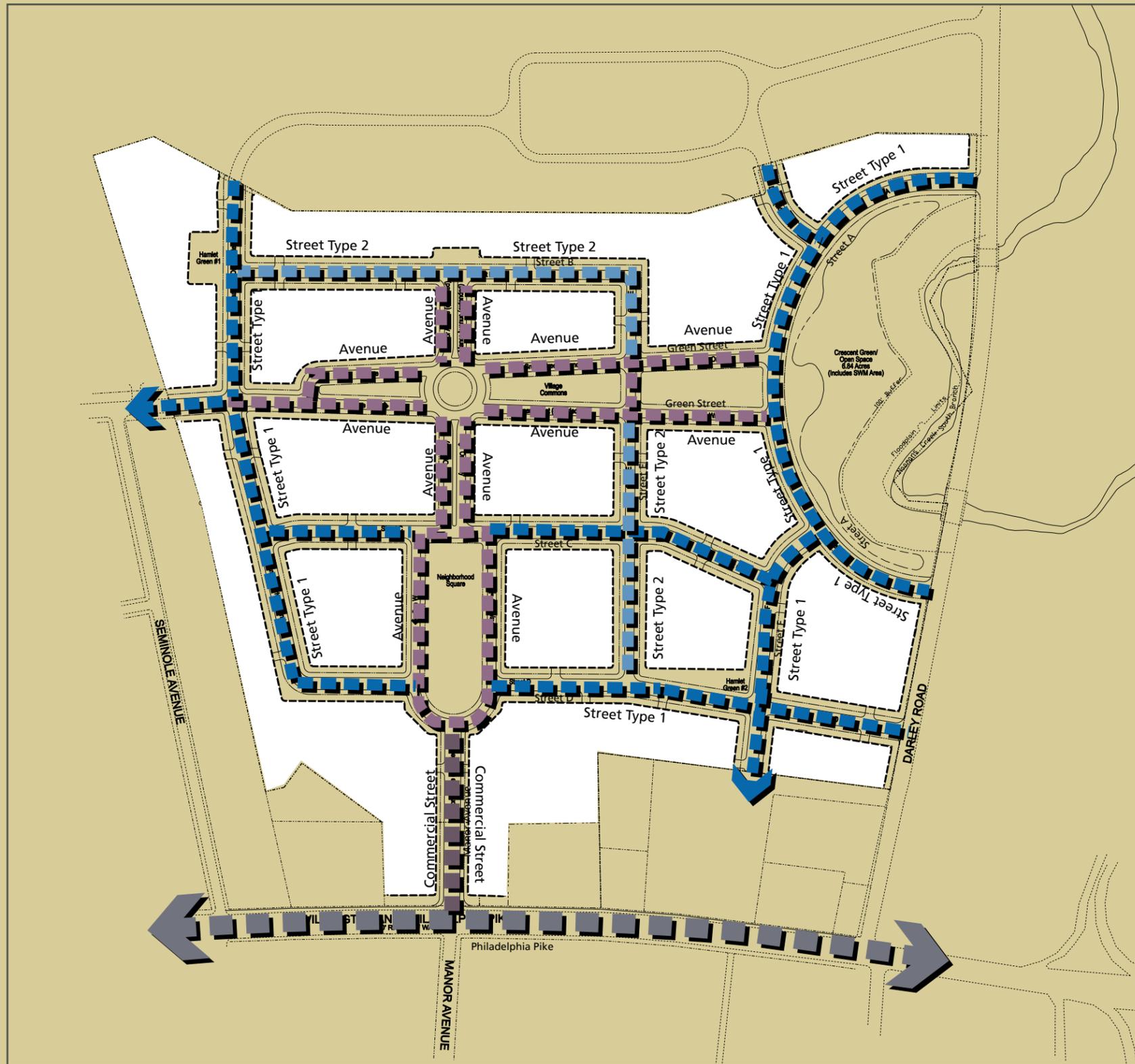
- Entries: Stoops shall be used and shall be raised a minimum of 2-risers and a maximum of 10-risers. Covered stoops are required.
- Ground Plane: Shall be grass, shrubs or groundcover.
- Furnishing Location: Street lights shall be centered in the tree planting strip that is contiguous with the street curb.
- Frontage Delineation: A metal fence (36" height) shall line the sidewalk edge and shall be painted black.
- Porches are not permitted.
- Entries for multi-family buildings with corridors: Primary entrances to buildings shall be ADA accessible per code. Ground floor units shall have primary entries from corridor and shall be addressed from common building entry – ground floor units shall also have a secondary entry from the sidewalk with a stoop that shall be raised a minimum of 2-risers and a maximum of 10-risers.

Dooryard: Hedge or Wood Fence

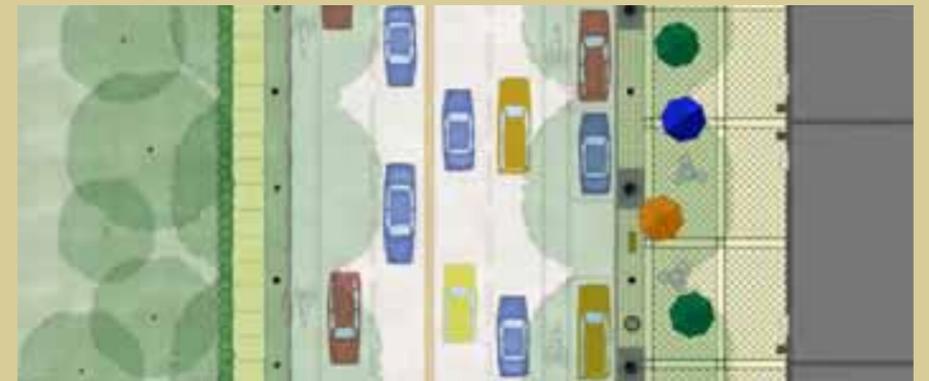


- Entries: Stoops shall be used and shall be raised a minimum of 2-risers and a maximum of 10 risers. Covered stoops and porches are permitted.
- Ground Plane: Shall be grass, shrubs or groundcover.
- Furnishing Location: Street lights shall be centered in the tree planting strip that is contiguous with the street curb.
- Frontage Delineation: A green hedge or wood picket fence shall be along the sidewalk edge and shall be maintained at a height of 36".-Each street shall be consistent in its frontage delineation.
- Entries for multi-family buildings with corridors: Primary entrances to buildings shall be ADA accessible per code. Ground floor units shall have Primary entries from corridor and shall be addressed from common building entry.– Ground floor units shall also have a secondary entry from the sidewalk with a stoop that shall be raised a minimum of 2-risers and a maximum of 10-risers.

THOROUGHFARE STANDARDS

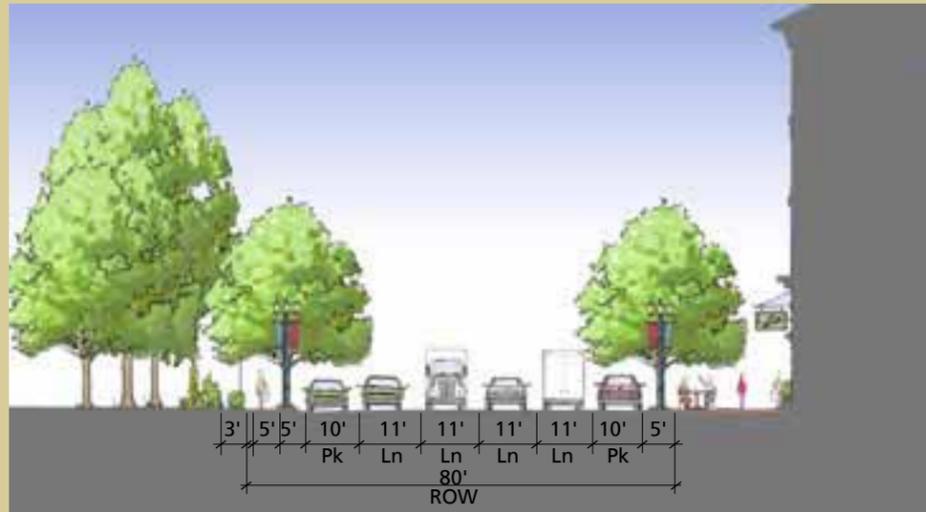


Philadelphia Pike: Alternate A



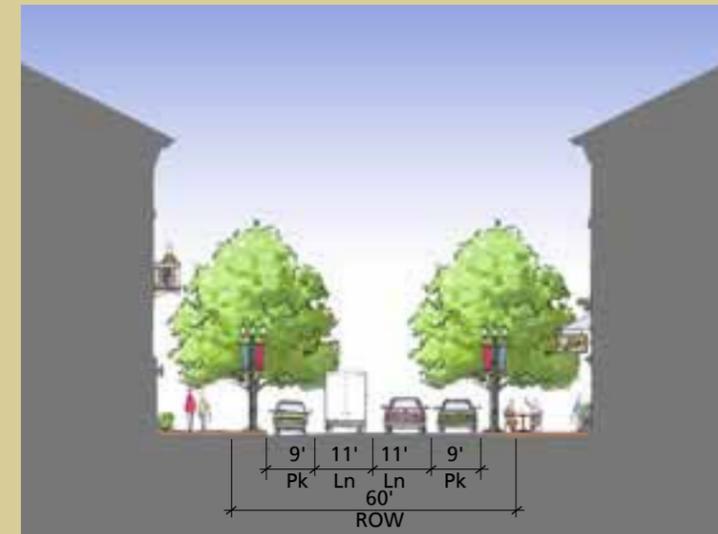
- Curb Return Radius: 25' at intersecting streets or as approved by DelDOT
- Street Tree Placement: 40' spacing
- Street Tree Location: Centered in tree pits
- Street Light Placement: shall be coordinated with DelDOT
- Street Light Location: Centered between street trees
- Final design shall be coordinated with DelDOT

Philadelphia Pike: Alternate B



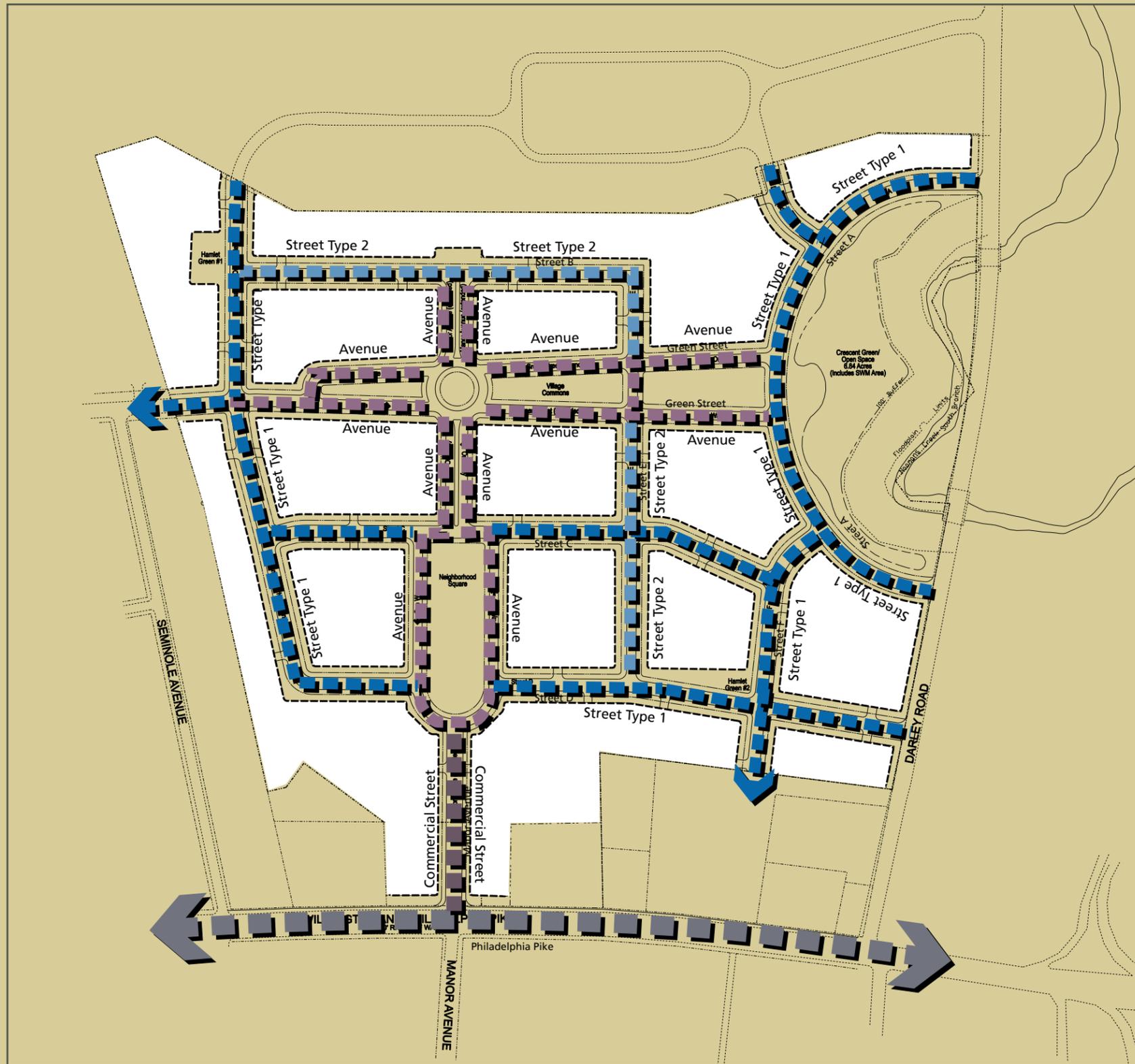
- Curb Return Radius: 25' at intersecting streets or as approved by DelDOT
- Street Tree Placement: 40' spacing
- Street Tree Location: Centered in tree pits
- Street Light Placement: Shall be coordinated with DelDOT
- Street Light Location: Centered between street trees
- Final design shall be coordinated with DelDOT

Manor Avenue: Commercial Street

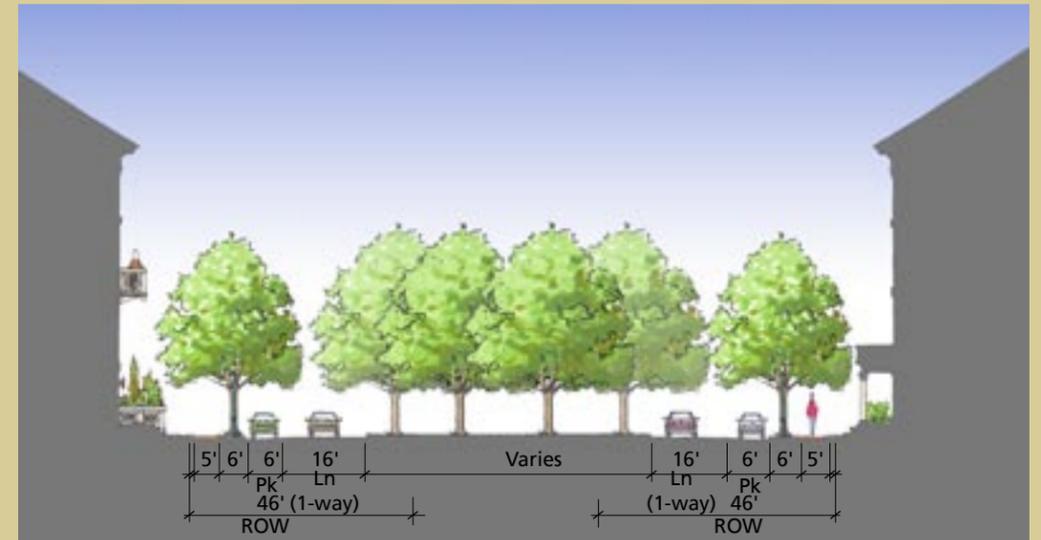


- Curb Return Radius: 25' at Philadelphia and 20' at other streets or as approved by DelDOT
- Street Tree Placement: 40' spacing
- Street Tree Location: Centered in tree pits
- Street Light Placement: Shall be coordinated with DelDOT
- Street Light Location: Centered between street trees
- Travel lane shall be 11'
- On-Street parking shall be provided on both sides of street
- Final design shall be coordinated with DelDOT

THOROUGHFARE STANDARDS



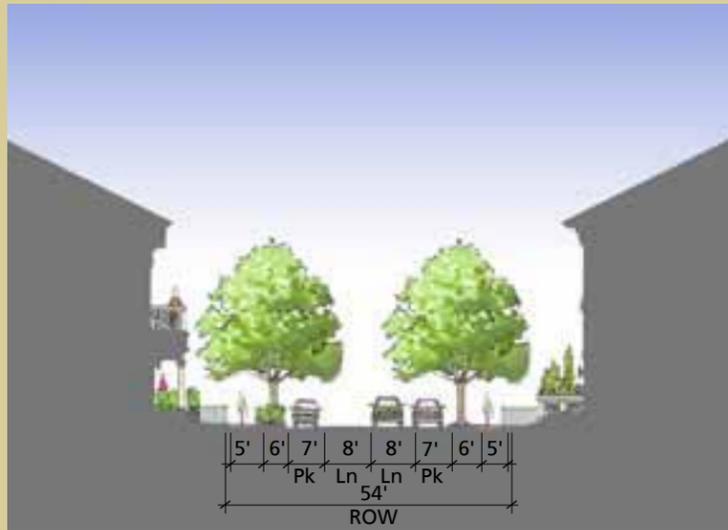
Avenue with Planted Median



- Curb Return Radius: 20' or as approved by DelDOT
- Street Tree Placement: 40' spacing
- Street Tree Location: Centered in tree pits
- Street Light Placement: Shall be coordinated with DelDOT
- Street Light Location: Centered between street trees
- Travel lane shall be 16'
- On-Street parking shall be provided on both sides of street
- Medians with a width of 20' or less shall not be planted with shade trees, but may be planted with ornamental trees and/or shrubs and/or ground cover
- Medians with a width of 50' or greater shall be planted with street trees matched and paired with street trees on the opposite side of the street
- Final design shall be coordinated with DelDOT

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Residential Street Type 1: 2-way, Park 2-side



- Curb Return Radius: 20' or as approved by DeIDOT
- Street Tree Placement: 40' spacing
- Street Tree Location: Centered in tree planting strip
- Street Light Placement: Shall be coordinated with DeIDOT
- Street Light Location: Centered between street trees
- Travel lane shall be 8'
- On-Street parking shall be provided on both sides of street
- Final design shall be coordinated with DeIDOT

Residential Street Type 2: 2-way, Park 1-side



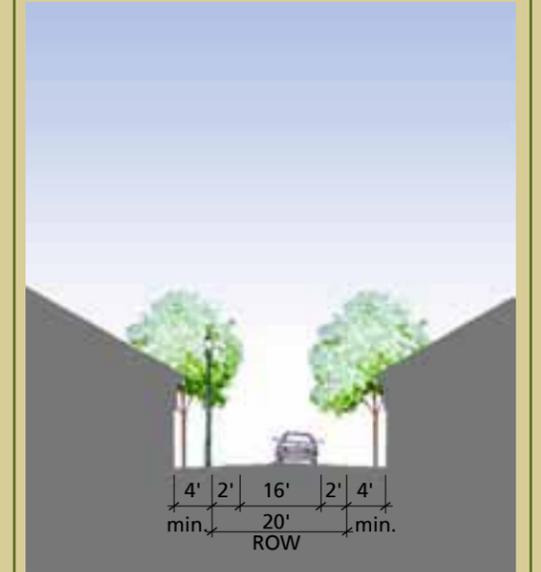
- Curb Return Radius: 20' or as approved by DeIDOT
- Street Tree Placement: 40' spacing
- Street Tree Location: Centered in tree planting strip
- Street Light Placement: Shall be coordinated with DeIDOT
- Street Light Location: Centered between street trees
- Travel lane shall be 8'
- On-Street parking shall be provided on one side of street
- Final design shall be coordinated with DeIDOT

Typical Alley 1



- Curb Return Radius: 15' or as approved by DeIDOT
- Planting islands shall be provided between every unit
- Tree Placement: every island
- Shall be used with integral garage units only
- All alleys shall be private and privately maintained
- Final design shall be coordinated with DeIDOT

Typical Alley 2



- Curb Return Radius: 15' or as approved by DeIDOT
- Planting islands shall be provided between every unit
- Tree Placement: every island
- Shall be used with detached garages and single family detached units only
- All alleys shall be private and privately maintained
- Final design shall be coordinated with DeIDOT

OPEN SPACE / URBAN DESIGN CHARACTER

Philadelphia Pike

Philadelphia Pike is Claymont's "Main Street". The Main Street is one of the most enduring images of the traditional American town. As is common with traditional neighborhoods, streets form a critical part of the public realm where the day to day interactions between people occur. The Main Street is one of the most public of places where a mix of uses provides both a vitality and identity for the community.

The public realm along Philadelphia Pike extends from the on-street parking lane to the face of the buildings. The massing, facades, and signage are addressed in other sections of The Brookview Design Guidelines. This section addresses the area from the street curb to the face of the buildings.

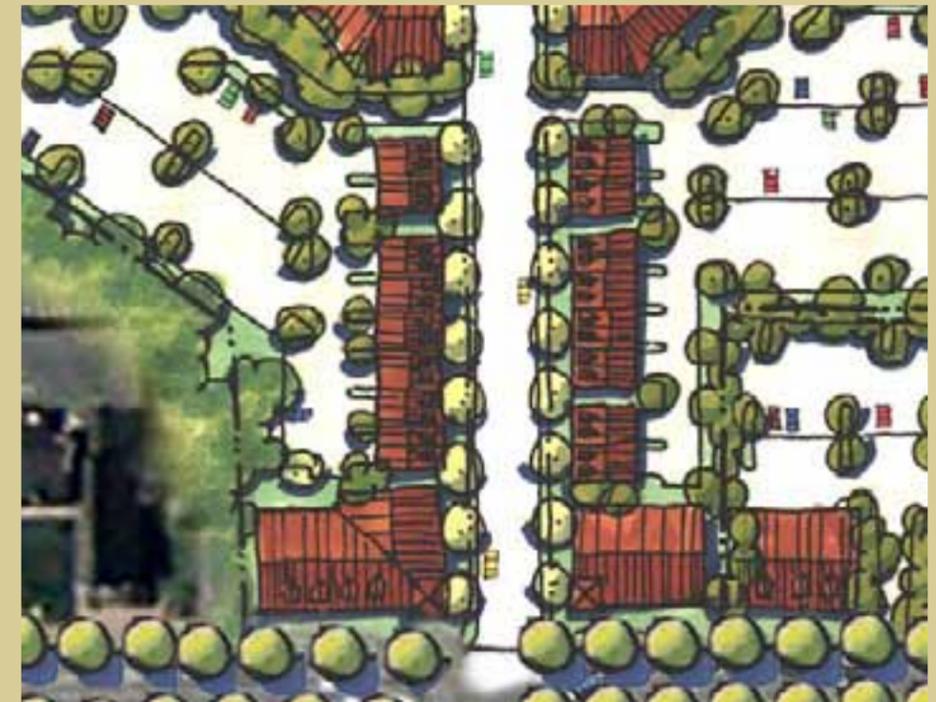
1. The Philadelphia Pike streetscape shall be coordinated with DelDOT, New Castle County, and the Claymont DRAC.
2. For lighting, seating, tables and chairs, planters, walls, paving, and commercial streetscape requirements see the Landscape Standards section in this document.
3. Pavement cut-outs with ground-cover, shrubs, or similar shall not be permitted.
4. Moveable tables and chairs shall be permitted and are strongly encouraged.



Live-Work Street

Manor Avenue (extended) from Philadelphia Pike to the Village Green is also a retail street, but is comprised of Live-Work Units. These units are made up of smaller commercial increments than are found on Philadelphia Pike. Typical tenants could include small professional offices, small medical offices, dry cleaning drop-off, a small corner store, a home office with a commercial front, etc. The size of the sidewalk is smaller, but has the same characteristics as the sidewalk along Philadelphia Pike. The upper stories of these buildings are residential and can be configured so that a resident upstairs occupies the commercial space on their first floor, or else the commercial space on the first floor can be separated from the residential space above. Spaces adjacent to each other can be combined to create a larger commercial space, if needed.

1. For lighting, seating, tables and chairs, planters, walls, paving, and commercial streetscape requirements see the Landscape Standards section in this document.
2. Pavement cut-outs with ground-cover, shrubs, or similar shall not be permitted.
3. Moveable tables and chairs shall be permitted.





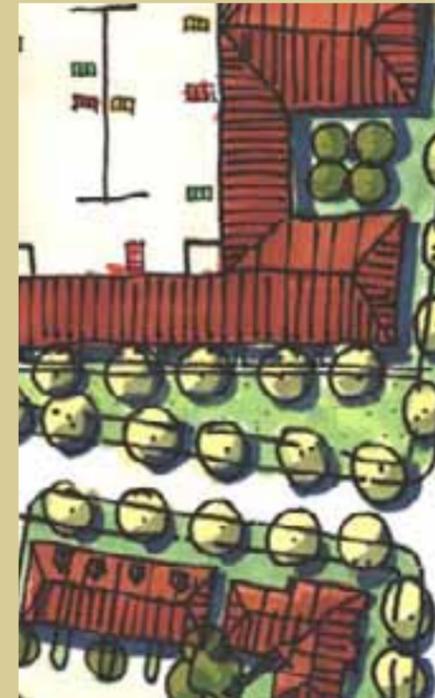
Neighborhood Square

Manor Avenue, with its Live-Work retail street, culminates in the Neighborhood Square. This traditional space acts as the symbolic heart of the community. A site for a potentially relocated Wertmuller House or other prominent structure, is identified at the western end of the green. A pool is also identified behind the Wertmuller House.

1. The space shall be primarily open lawn to accommodate various functions.
2. The perimeter shall be defined by street trees.
3. The eastern end of the square shall have a formal layout and shall have a paved area, defined by the Wertmuller House, or similar prominent structure, that shall face Manor Avenue and Philadelphia Pike. This paved area will function as both a forecourt and a seating area. This space will be characterized by a formal walk arrangement, have benches along the edges of the paved area, and will act as a visual focal point.
4. The western end of the pool enclosure shall be lined with a pergola.
5. The Neighborhood Green shall have a minimum of ten benches.



Hamlet Green 1



Hamlet Green 2

Hamlet Green

The hamlet greens shall be primarily open lawn. These more informal green spaces act like a mews, in that some of the buildings defining the green space sit immediately on the green, rather than being separated from the green with a street. This space is characterized by a lawn panel, benches, and ornamental flowering trees that define the edges of the space. Street trees define the street edge.

1. The spaces shall be primarily open lawn to accommodate various functions.
2. A sidewalk shall define the perimeter of the space. The edge defined by residences (rather than a street) shall have a sidewalk located parallel to the build-to-line and located approximately ten feet from the build-to-line (in the direction of the green).
3. Each hamlet green shall have a minimum of two benches.



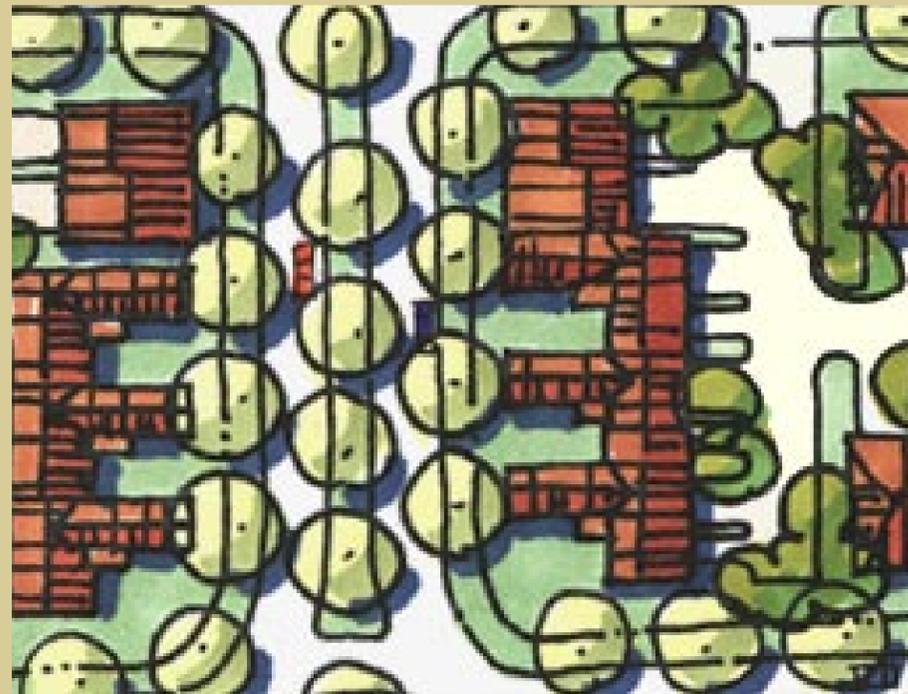
Hamlet Green 2

OPEN SPACE / URBAN DESIGN CHARACTER

The Avenue

The Avenue is a green space that links the neighborhood square and the residential fabric to The Commons.

1. Median shall be planted with a row of ornamental trees.
2. Median shall be planted with groundcover



The Commons

Green Street is an important north-south connection in Claymont. It is the only north-south street that parallels Philadelphia Pike on the west side of Claymont and it is where the Claymont Community Center is located. This north-south axis (running left to right in the adjacent drawing) extends Green Street from just north of Naaman's Drive to The Crescent Green, Darley Road, and Woodshaven Kruse Park.

Similar to Union Park Gardens in Wilmington, DE, The Commons creates a large linear green space in the heart of the neighborhood defined by homes on both sides of the space. In contrast to the curvilinear streets found in Union Park Gardens, The Commons has a formal layout that responds to the role that it plays in overall Claymont. The character of this space is similar to that shown in the photograph of the Union Park Gardens space.

1. The space shall be primarily open lawn to accommodate various functions.
2. The perimeter shall be defined by street trees.
3. Occasional shade trees and/or ornamental trees may be planted along the edges of the open lawn.
4. Existing trees in The Commons shall be saved whenever possible.





The Crescent Green: Wetlands

The Crescent is a large green space that terminates Green Street and is well defined by large homes at its perimeter. This space plays a multifaceted role in Brookview. It functions as a recreation space, wetland, education and interpretive area, and wildlife habitat. It will serve as a model for storm water management.

In keeping with Delaware’s efforts to use green technology best management practice strategies to address storm water, Brookview re-creates a functioning riparian system. This system is composed of a wetland that naturally cleanses storm water from pollutants using native wetland plants and allows for infiltration and recharge of the ground water. The stream edge shall also be enhanced to repair the eroding banks. In addition to being a functioning system, this area will also be a beautiful space. This system will act as a model for environmentally sensitive storm water management.

1. A wetland shall be created to treat the majority of the Brookview storm water.
2. A board walk shall be created through the wetland. Interpretive signs shall be incorporated along the boardwalk.
3. The space shall be lined with street trees (excluding the Darley Road edge).
4. A 15' minimum mown grass edge shall be maintained between the sidewalk edge and the wetland.



The Crescent Green: Recreation

The created wetlands will be enhanced for recreational use. The boardwalk and a path system will allow users to move through the space and to get closer to Naaman’s Creek. Perennial beds may be incorporated into the lawn space.

1. A lawn area for picnicking shall be provided.
2. The Crescent Green shall have a minimum of four benches.
3. A path system shall be provided.



LANDSCAPE STANDARDS

LIGHTING

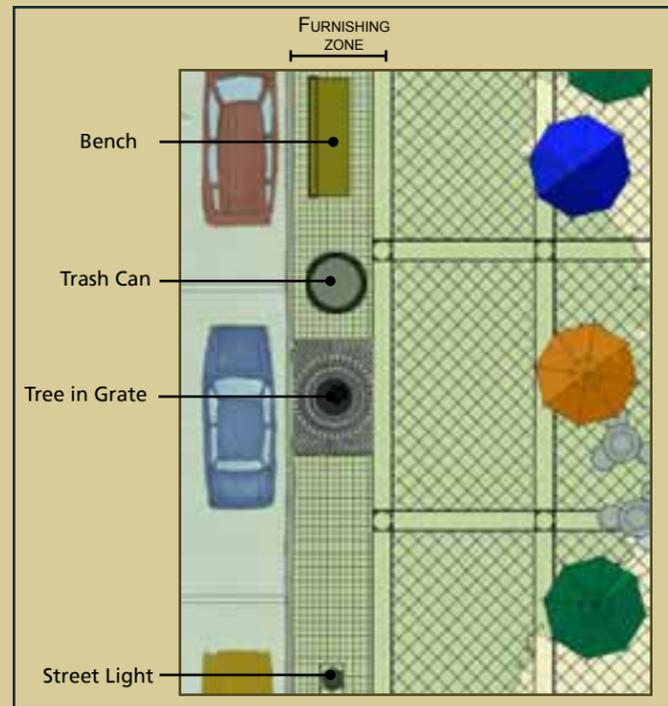
Lighting for the commercial uses shall be appropriately shielded to not impact the residential units.

- All street lights should be comprised of ornamental poles and fixtures (Cobra heads and shoe box style lighting is prohibited). Preferred lights are 12'-14' tall. 20' tall poles may be utilized at major intersections.
- All street lights should be comprised of ornamental poles and fixtures.
- All street lights shall be metal halide. High pressure sodium is not permitted in public streets or where visible from public streets. High pressure sodium lights are only permitted in parking lots behind buildings.
- Street lights shall be placed in the furnishing zone in retail area.



SEATING

Decorative Benches with backs to the street shall be provided in the furnishing zone along Philadelphia Pike, Manor Avenue and other commercial streets. Benches shall be 5 to 6 ft in length. There shall be an average of 1 bench (per each side of the street) minimum per 120 linear feet of street in retail area.



MOVABLE CHAIRS AND TABLES

Movable chairs and tables shall be utilized in the open spaces and as café seating.



PLANTERS

Planters shall be consistent with the Brookview architectural styles.

Streetscapes that are primarily paved shall have moveable planters. They shall contain plants with seasonal color. Balconies are encouraged to have planters along railings or potted plants on balconies.



WALLS /HEDGES/FENCES

General

Garden walls, retaining walls, hedges, and fences can define the edge between the public street and private yards.

Materials

- Retaining walls shall be masonry or stone when forward of the Build-to-Line.
- Metal Fences shall be black.
- Front yard fencing shall have a consistent height of 36" from finished grade.
- The top of fence shall remain level in stepped conditions.
- No plastic or vinyl fencing shall be permitted forward of the Build-to-Line.



PAVING

Materials:

- All walks and crosswalks along Philadelphia Pike, Manor Avenue and other commercial streets shall be some form of special paving. Special paving is here defined as scored concrete, stone pavers, brick pavers, or concrete unit pavers.
- Parking garage access points shall be composed of pavers.
- Paver selection and paving patterns shall be consistent with the overall architectural style.



COMMERCIAL STREETSCAPES

Commercial streetscapes have a different character than residential streets. They are designed to accommodate the higher level of use and the additional activities that typically take place on them.

- Sidewalks must be paved from building face to street curb.
- Street trees are required on all streets at 40' spacing and shall be 2.5" caliper minimum at time of planting.
- Street trees shall be planted in tree pits with tree grates.
- A furnishing zone must be established (see street sections).
- Pavement shall be scored with a pattern or composed of pavers.
- Cross-walks are to be a scored concrete pattern or pavers and must be coordinated with the overall Philadelphia Pike plans.
- Ornamental street lights are to be used along Philadelphia Pike and are to be coordinated with the overall Philadelphia Pike plans.
- Outdoor dining and seating are permitted and encouraged along commercial sidewalks.
- Curbs shall be vertical (not rolled).
- Exposed driveway entrances require a masonry wall with a one-story minimum height.
- See New Castle County Street Tree Guidelines for additional information.
- Street trees shall be large shade trees. Approved trees are listed in the UDC.

RESIDENTIAL STREETSCAPES

- All residential streets shall have 5' wide sidewalks.
- All residential streets shall have a 5' minimum street tree planting strip with grass.
- Ornamental street lights shall be used.
- Residential street lights shall have a 12' maximum pole height.
- See street sections for dimensions.
- Street trees are required on all streets at 40' spacing and shall be 2.5" caliper minimum at time of planting.
- Street trees shall be large shade trees. Approved trees are listed in the UDC.
- Lead walks shall be concrete or pavers.
- Transformers and all other equipment must be located behind the buildings or on the side of buildings.
- Driveway aprons are to be concrete. Alleys and private drives are to be asphalt or concrete.
- When tandem parking occurs adjacent to a street and creates a void in the street wall, a masonry wall (wing wall) is required with a one-story minimum height.

MIXED-USE & LIVE-WORK ARCHITECTURAL STANDARDS

Building Articulation & Configuration for Commercial Buildings

The character of the architecture on the street reinforces the idea of a pedestrian scale. Buildings shall be articulated to break down the scale and have the varied look of a number of buildings built over time. Building masses and edges along the street shall be articulated with windows and entryways that provide interest.

The following requirements apply to all commercial Mixed-Use buildings and Live-Work buildings.

Uses

1. Mixed-Use Buildings shall have commercial uses located on the first floor. Mixed-Use Buildings shall have office or residential uses on all other floors. Retail Mixed-Use buildings shall have retail use on the first floor and residential or office on all other floors. Residential Mixed-Use buildings shall have retail or office on the first floor and residential on all other floors.
2. Live-Work Buildings shall have commercial uses located on the first floor. Live-Work Buildings shall have residential uses on all other floors.
3. Live-Work Building commercial uses are not restricted to occupancy by residences above.

Orientation

1. Primary Building Facades shall be oriented to the street. See Retail Fenestration.
2. Buildings shall line the Build-to-Line in a continuous edge and shall meet the minimum frontage occupancy requirements.
3. Blank walls shall not face streets. Liner buildings with primary building facades shall be used to screen blank walls from the street.

Facades

1. Mixed-Use Buildings longer than 60' shall be designed to look like more than one building. No section of building longer than 60' may look like one building. Each section of building shall be different in color than the other sections.
2. Commercial first floors shall have a 16' minimum height for mixed-use buildings.
3. Live-Work first floors shall have a 12'-16' height.
4. Live-Work buildings shall be composed to look like different buildings built over time. The maximum length permitted to look like one building is 48'. Eaves of adjacent façade sections shall vary in height.
5. A clear distinction between the ground floor and upper floor levels should be clearly articulated as a base - see Building Vertical Composition.

Entries

1. Ground floor retail or commercial space entries shall be located at the street building front.
2. Service entrances shall be at the rear of the buildings.

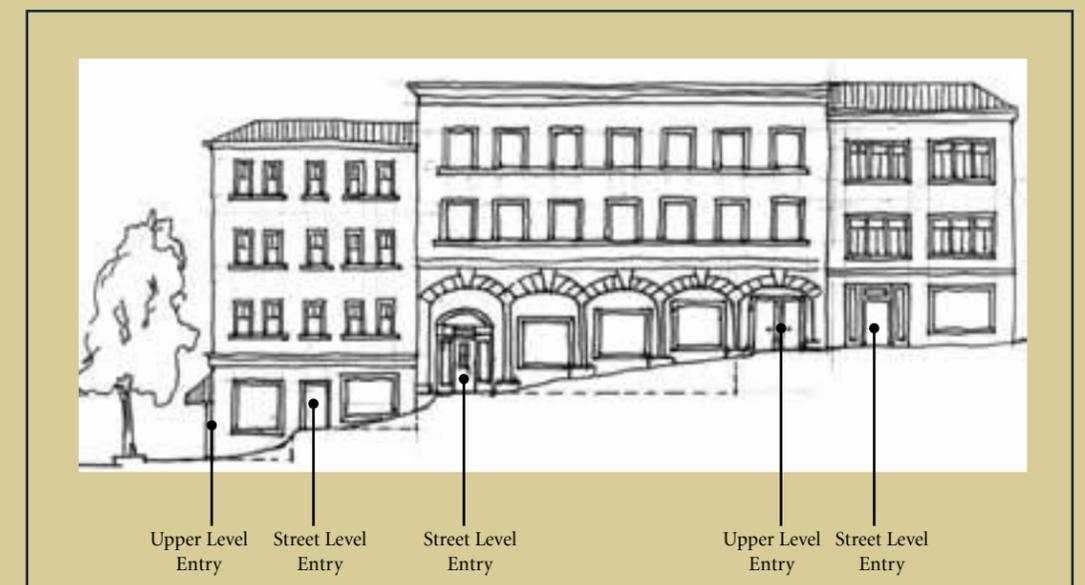
3. Entrances to second and third story uses shall be located along the street building front and articulated differently than the retail entrances.
4. Entries along sloping streets should provide safe, flat entryways while maintaining easy access to storefronts for window shopping. (See diagrams below)
5. Secondary entrances may be located at the rear and sides of buildings.
6. See diagram below for graphic illustration of Entries.

Materials

1. Mixed-Use buildings along Philadelphia Pike shall be masonry, stucco, or EIFS.
2. A minimum of 50% of the Live-Work facade shall be masonry, stucco, or EIFS.



Level Street



Sloping Street

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Retail Signage



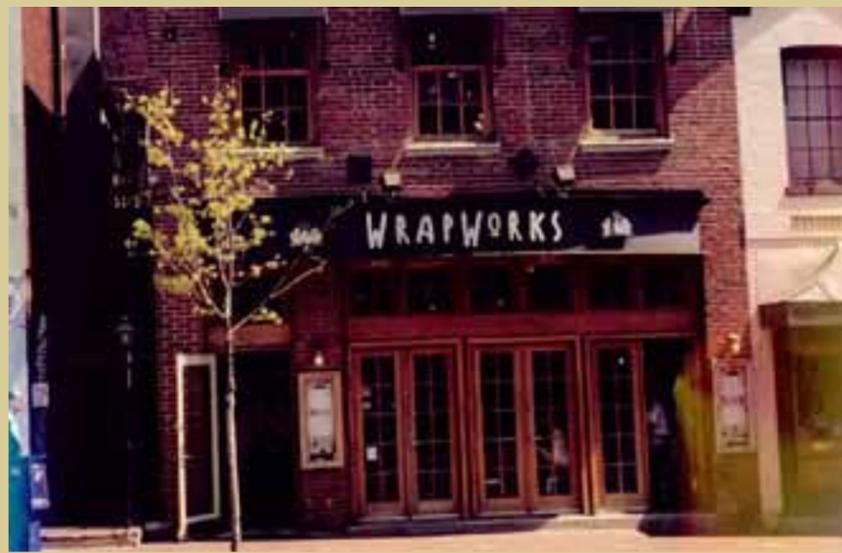
Retail Fenestration



Retail Fenestration



Awnings are permitted above retail use



Retail Fenestration

Retail Fenestration

Retail Fenestration Standards provide additional architectural requirements for Mixed-Use Buildings along Philadelphia Pike.

1. Minimum percentage of surface that is to be glazed (window surface area) along Philadelphia Pike is seventy (70) percent of the first floor façade. On all other primary frontages where retail is used, the minimum percentage is sixty (60) percent of the first floor façade.
2. Glazing must be at least seventy (70) percent transparent.
3. Maximum height of sill above sidewalk is eighteen (18) inches along Philadelphia Pike. All other commercial shall have a maximum height of sill above sidewalk of thirty (30) inches.
4. Maximum percentage of glass that may be blocked with interior fixtures or paper signs along Philadelphia Pike or other commercial streets is twenty (20) percent.
5. Maximum height above sidewalk that any retail glazing may be blocked with wood fixtures is four (4) feet from the exterior ground line.

Retail Signage

1. Marquee Signs, Projecting Signs, Wall Signs, and A-Type signs less than 42" shall be permitted. Individual backlit letters shall be permitted.
2. Flashing signs shall not be permitted.
3. Buildings shall be designed to include a "signage zone" above Retail.

4. Flat wall Signs shall have horizontal proportions and shall not protrude above the sill line of the second floor. Projecting signs are exempt from this requirement.
5. Wall signs may not exceed 2 square feet for every linear foot of building wall to which it is attached. A maximum of 40 square feet is permitted for each wall sign. A maximum of 36 square feet is permitted for marquee and projecting signs. A-type signs shall not exceed 2 feet in width by 42 inches in height. The definitions of sign area and type shall be in accordance with those found in 40.06.020 of the UDC."
6. All signs shall require a permit from New Castle County prior to installation.
7. Signs should reflect the architectural style of the building and its use. Design, materials, size, logos and colors should complement and enhance the building style and use of the building for which it advertises.
8. Internally illuminated box signs are prohibited. However, external lighting and signs comprised of individual backlit characters are permitted and encouraged.

Awnings

Awnings shall be permitted directly above commercial uses. They shall have a metal structure covered with fabric. Awnings may have a front skirt. However, the bottom of the skirt shall not be scalloped. Awnings may include logos and text and shall not be backlit.

GENERAL ARCHITECTURAL STANDARDS : BUILDING VERTICAL COMPOSITION

1. All buildings shall be compositionally organized to have a base, a shaft, and a cap. Two story buildings are exempt from this requirement.
2. The base shall extend from the exterior grade to the top of the first floor.
3. The base shall be clearly articulated and shall be a different material, color, or pattern than the shaft primary surface material. When a building is composed entirely of siding, the base shall be clearly articulated by the use of trim.
4. The cap shall be substantial in height with a minimum height of 1'-6" for 2-story buildings and 2'-6" for 3-story and 4-story buildings.
5. See photos and diagrams on this page for illustrative examples.

Facade Vertical Articulation



Base, Shaft, Cap

Townhouse Composition



Base, shaft, cap



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TOWN HOUSE AND STACKED TOWN HOUSE STRING COMPOSITION

DESIRABLE COMPOSITION



UNDESIRABLE COMPOSITION



1. String shall be designed as a composed building and shall not be designed as individual independent facades.
2. Horizontal breaks in the street/building face, as well as vertical breaks, shall be designed to occur as apart of the building composition and shall not occur randomly.
3. Changes in material shall occur to reinforce the building composition and shall not occur randomly.

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GENERAL ARCHITECTURAL STANDARDS

Orientation

1. Primary Building Facades shall be oriented to the street.
2. Buildings shall line the Build-to-Line in a continuous edge and shall meet the minimum frontage occupancy requirements.

Facades

1. Residential Buildings longer than 125' measured at the Build-to-Line shall be designed to look like more than one building. No section of said building designed to appear as more than one building shall exceed 125'.
2. A clear distinction between the ground floor and upper floor levels should be clearly articulated as a base (see Building Vertical Composition).

Entries

1. Residential entries shall be located at the street building front.
2. Service entrances shall be at the rear of the buildings.
3. Entrances to second and third story uses shall be located along the street building front.
4. Secondary entrances may be located at the rear and sides of buildings.
5. Apartment/condo buildings shall be designed in such a way that ground floor units have individual entries from the street.
6. Stacked Town Houses and Manor Houses shall have only one set of stairs and one stoop on the primary façade to access all units.
7. Stacked Town House and Manor House entries, stoops, and stairs on primary facades shall be set at an elevation that is a maximum of 1/2 of a story in height from the sidewalk elevation.
8. All entries on primary facades shall be higher than the sidewalk elevation.

Roofs

1. Dormers shall be placed a minimum of 3' from side building walls.
2. Roof penetrations, except stucco or brick chimneys, shall be placed so as not to be easily visible from streets and painted to match the color of the roof, except those of metal which may be left unpainted.
3. Gable ends on stoops, porches, and balconies shall have no less than a 6 in 12 pitch.
4. Hip roofs shall have no less than a 6 in 12 pitch.
5. Roof-vent penetrations shall be located at least 10'-0" from any exterior building face.
6. All hipped or gabled roofs must have Eaves.
7. Cornices are required on buildings with flat roofs. They shall include a projection beyond the Building Face.
8. Gutters and downspouts, when used, shall be made of galvanized steel, copper (not copper coated), or aluminum.
9. Attic vents shall be appropriate to the style.

Windows

Along street frontages:

1. Specialty windows (oval, octagonal, Palladian) are restricted to one per section of facade.
2. Triangular windows are not permitted.
3. Openings for windows and window panes must have a vertical dimension greater than or equal to the horizontal dimension.
4. If exterior shutters are used, they shall be sized and mounted appropriately to fit their window.
5. It is encouraged that windows on the ground floor be Simulated True Divided Light.
6. Glass block is not permitted.
7. Windows may be grouped, if separated by a

mullion at least 5" wide, to create a horizontal composition. The maximum combined horizontal dimension may not exceed three times the combined vertical dimension.

8. Windowsills shall project a minimum of 1" from the Building Face.
10. Doors, except garage doors, shall be, or appear to be, constructed of planks or raised panels (not flush with applied trim).
11. Where masonry is used, all Entryway and window openings shall have concrete, or masonry, lintels.
12. All window trim shall be a minimum of 3 1/2" in width.
13. Any building utilizing masonry or stucco as the exterior material shall have windows inset at least 3".
14. Windows shall be clear glass. No reflective or tinted glass is permitted.

Wall

1. Designs and materials must be consistent on all primary facades.
2. Ancillary Buildings shall be constructed of the same materials as the principle structure.
3. Foundation walls of stoops and porches must be consistent with the foundation treatment of the building.
4. Wood elements such as trim and visible window framing must be painted or sealed with an opaque or semi-solid stain.
5. Where real or simulated brick, stone, stucco or similar materials are used on the primary facade(s), the material shall continue along the secondary facades a minimum of 16" in depth measured from the face of the primary façade.

Colonnades, Arcades & Loggias

The vertical dimension of the openings between columns, piers, or posts on colonnades or arcades shall be at least 1.0 times the horizontal dimension of the openings.

Columns

Where classical arcades or colonnades are used, the Orders shall be Tuscan, Doric, or Ionic with correct proportions and profiles according to The American Vignola.

Stoops Porches and Balconies

1. All townhouses and stacked townhouses shall have either a covered stoop or door casing appropriate to the style.
2. The vertical dimension of the openings between columns, piers, or posts on a porch, stoop, or balcony shall be at least 1.6 times the horizontal dimension of the openings.
3. Screens are not permitted on stoops, porches, or balconies facing the street.
4. Balconies shall be structurally supported by brackets or beams when facing public streets.
5. Porches and stoops must be a minimum of 12" above the adjacent sidewalk elevation.
6. Asphalt shingles are not permitted on roofs of stoops or ground level porches.
7. Balconies are permitted to wrap around corners.

Colors

1. Colors shall be consistent with the style.
2. Garish, Neon, or otherwise "Loud" colors shall not be used.
3. A variety of material colors shall be used throughout the Brookview site. Façade colors shall be used strategically to create a sense of diversity (while maintaining harmony), and to reinforce the urban design gestures. Interspersing occasional dark siding colors is encouraged. It is strongly encouraged that a color consultant be retained by the developer or builder to assist in overall neighborhood color palette selection and in identifying color placement on facades throughout the neighborhood.

4. Changes in color from one town house unit to another shall only occur when there is either a horizontal or vertical break in the building wall plane.
5. A maximum of four town houses or four stacked townhouse units in a row shall have the same color façade.

Building and Mechanical Equipment

HVAC equipment, utility meters, satellite dishes, permanent grills, and other mechanical equipment should be located so as not to be visible from the street. They should be located to the interior of the block or on roofs and shall not be visible from the street. Mechanical equipment shall not vent to the street side of the building. Window air conditioning units are not permitted.

Site Utilities

Site utility structures, such as transformers, shall be located to the interior of blocks (behind buildings) or along the side of the buildings.

Lighting

All street lighting, parking lot lighting, and porch lights shall be incandescent, halogen, natural gas elements, or metal halide. High pressure sodium is permitted only in parking lots.

Materials

See page 16.

APPENDIX : DEFINITION OF TERMS

Certain terms in The Brookview Design Guidelines are used with specific meanings as identified below.

ARCADE	A colonnade with arched openings.
BLADE SIGNAGE	A vertically oriented sign hung from, and perpendicular to, a facade so that it may be read by pedestrians on the sidewalk.
BLOCK	A unit of land bounded by streets on sides.
BUILD-TO-LINE	The line to which buildings are required to be built on their lot; no setback is permitted from it, except as noted in the guidelines.
COLONNADE	A covered passage way supported by columns, and lintels open to the street with rectangular openings.
COURTYARD	A courtyard is a space defined by a single building on at least two sides, and a fence or building on all other sides.
DOOR-YARD	The Door-Yard is the area between the Build-to-Line and the public sidewalk defined by a hedge or fence. Planting, porches, lead walks, stoops and fence occur within this area.
FOOTPRINT	The footprint is an outline showing the extent to which a home, building, or other architectural element covers the lot on the ground level.
FRONTAGE OCCUPANCY	The minimum amount of primary façade that must be built along a build-to-line.
FURNISHING ZONE	A continuous zone extending the entire length of commercial and mixed-use streets parallel to the street and delineated from the back of curb, having a consistent width that is identified for the placement of permanent

GARDEN WALL	A wall that separates courtyard, front yard, or service area from the street to screen private activities from the public realm. Garden Walls are independent walls between four (4) and eight (8) feet high.
LEAD WALK	Pavement that is intended for pedestrian travel to and from a building entryway, or courtyard, and the sidewalk.
LIVE-WORK	A live-work building/unit is one where the bottom floor is designed for commercial uses and the space above is designed for, and occupied by, residential uses. It is also designed such that the above residential unit could have direct access to the commercial space below if the residential occupant were also the commercial tenant or commercial owner, but can be secured (prohibiting access from the above residential unit to the commercial space below) if resident is not the commercial tenant or commercial owner.
LOADING AREA	A designated area for loading and unloading goods for a commercial building.
LOGGIA	Similar to a porch, a loggia is a covered exterior space, but one that is set inside a facade (as opposed to a porch which protrudes beyond the facade of a building).
MIXED-USE BUILDING	A building with two or more uses having a different use on the ground floor than on the floors above.

OPEN SPACE	Area that is intended to provide light, air, and/or views or general appearance of openness, and is designed for scenic, recreational, private, or environmental purposes.
PAIRED FACADES	Two facades next to each other, sitting in front of an open space with the same architectural design and character.
RETAIL MIXED-USE BUILDING	A mixed-use building that requires retail on the first floor and office or residential on the second and higher floors.
RESIDENTIAL MIXED-USE BUILDING	A mixed-use building that requires residential on the second and higher floors.
RIGHT OF WAY (R.O.W.)	A strip of land occupied, or intended to be occupied, by a public or private street, crosswalk, railroad, or other similar use.
PORCH	A Porch is a covered, raised platform provided as a level entry into one's home.
PRIMARY FAÇADE	All elevations (Front and/or Side) that are parallel to a These façade shall be treated as 'fronts' for purposes other than frontage occupancy, other facades clearly visible from the street shall be considered Primary Facades.
SCREENING	A natural or constructed barrier consisting of any landscaping, fencing, or other barrier intended to block a view.
SECONDARY FAÇADE	All elevations that are not defined as a primary façade.
SERVICE AREA	Area to be used for trash collection, recycling collection, or other similar use.

SET PIECE FAÇADE	A primary facade in a prominent location that should be designed as a focal element with a greater amount of detail than the surrounding buildings.
SIDEWALK	Pavement that is intended for primarily pedestrian travel.
STOOP	A raised, covered or non-covered, projection that extends from a building entryway at the ground floor of a building.
STREET FRONTAGE	The building or house facade running parallel to a Public Street or private street.
STREET WALL & STREET FACE	The street wall, or street face, is the visual three-dimensional wall that is formed by, and composed of, the primary facades located along the build-to line.
THRESHOLD	A passageway enclosed by buildings on both sides and above by building or other architectural elements, that one moves through to enter a space or street.
UDC	The New Castle County Unified Development Code that is on file with the New Castle County Department of Land Use.
WORK FORCE HOUSING	Housing that is visually indistinguishable from Market Rate Housing, but is offered for sale or lease as defined by the development agreement.



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