



DelDOT – Development Coordination

General Plans for Small Commercial Entrance

This document contains the 6 options of General Plans that could be used for qualifying projects under the Small Commercial Entrance Process. The selection of one of the General Plans will be at the Departments discretion. These plans are for reference only. All required information will be filled out by DelDOT Staff and provided back to the applicant as a stamped approved Commercial Entrance Plan. The plans are based on both the size of the vehicle that must use the entrance and the roadway where the entrance will be installed.

Small Commercial Entrance General Plans contain General Notes, Traffic Notes, entrance details, pavement details and specific entrance requirements. The 6 Plans are:

1. SU-30, unimproved roadway
2. SU-30, local road
3. SU-30, collector road
4. SU-40, unimproved roadway
5. SU-40, local road
6. SU-40, collector road

DeIDOT General Notes

1. All entrances shall conform to the Delaware Department of Transportation's (DeIDOT's) current Development Coordination Manual and shall be subject to its approval.
2. All materials and workmanship within the State of Delaware right-of-way shall be in accordance with current State of Delaware Department of Transportation Standard Specifications for Road and Bridge Construction, Supplemental Specifications, Standard Construction Details, Special Provisions, PAS Manual and Design Guidance Memorandums.
3. All disturbed areas within the State right-of-way, but not in the pavement, shall be top-soiled (6" minimum), fertilized, seeded and mulched. If sod is used next to sidewalk or shared-use path, contractor shall grade topsoil adjacent to the sidewalk or shared-use path prior to placement of sod to ensure that sod is placed flush or just below edge of sidewalk or shared-use path to avoid water ponding on the sidewalk or shared-use path.
4. A 72-hour (minimum) notice shall be given to the DeIDOT District Permit Supervisor prior to starting entrance construction.
5. Miss Utility of Delaware shall be notified three (3) consecutive working days prior to excavation, at 1-800-282-8555.
6. At the discretion of the Public Works inspector, any damaged or missing curb or sidewalk found on site will need to be repaired or replaced to meet current DeIDOT standards.
7. All signing, striping and maintenance of traffic is the contractor's responsibility and shall follow the guidelines shown in the Delaware Manual on Uniform Traffic Control Devices (Delaware MUTCD) for Streets and Highways (latest edition at the date of the Entrance Permit Approval). The Developer or property owners shall be responsible for maintenance of all signs installed as part of this project.
8. Plan location and dimensions shall be strictly adhered to unless otherwise directed by the DeIDOT Inspector.
9. A copy of the up-to date approved construction documents and DeIDOT approval letters shall be maintained on the project site at all times and be available for inspection by DeIDOT personnel.
10. Upon completion of the construction of the sidewalk or shared-use path across this project's frontage and physical connection to adjacent existing facilities, the Developer, the property owners or both associated with this project, shall be responsible to remove any existing road tie-in connections located along adjacent properties, and restore the area to grass. These disturbed areas shall be top-soiled (6" minimum), fertilized, seeded and mulched. Such actions shall be completed at DeIDOT's discretion, and in conformance with the Development Coordination Manual.
11. DeIDOT will not provide the respective local land use agency with a 'no objection to the issuance of the Certificate of Occupancy notice' until the entrance(s) are completed to the satisfaction of the Department.
12. Design, fabrication and installation of all permanent signing shall be as outlined in the latest version of the Delaware MUTCD.
13. Design and installation of all pavement markings and striping shall be as outlined in the latest version of the Delaware MUTCD. For final permanent pavement markings:
 - a. Epoxy resin paint shall be required for long line striping.
 - b. Thermo plastic (extruded or preformed material) will be required on Asphalt surfaces, for short line striping, i.e. symbols/legends.
 - c. Permanent pavement marking tape (per DeIDOT's approved materials list) will be required on Concrete surfaces, for short line striping, i.e. symbols/legends.
14. Removal of pavement marking paint or tape shall comply with Section 5.11.2 of the Development Coordination Manual.
15. Breakaway posts shall be used when installing all signs. Reference DeIDOT's Standard Construction Details, Section VIII – Traffic, T-15.
16. All fixed objects are to be a minimum of 10-feet from the edge of travel lane and 5-feet from the edge of pavement. Reference Section 5.5.5 of the Development Coordination Manual. Any fixed object that does not meet this requirement shall be relocated.
17. It is the contractor's responsibility to ensure that all paving within the State of Delaware right-of-way is installed in such a way that no ponding of water exists after paving is complete.



DEIDOT GENERAL COMMERCIAL ENTRANCE PLAN FOR

PARCEL: _____

PROJECT: _____

ROAD FRONTAGE: _____

Location Map

Insert Parcel view from PDCA

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Design Vehicle: SU 30
Road Frontage: Unimproved Frontage Road

DeIDOT General Notes Continued

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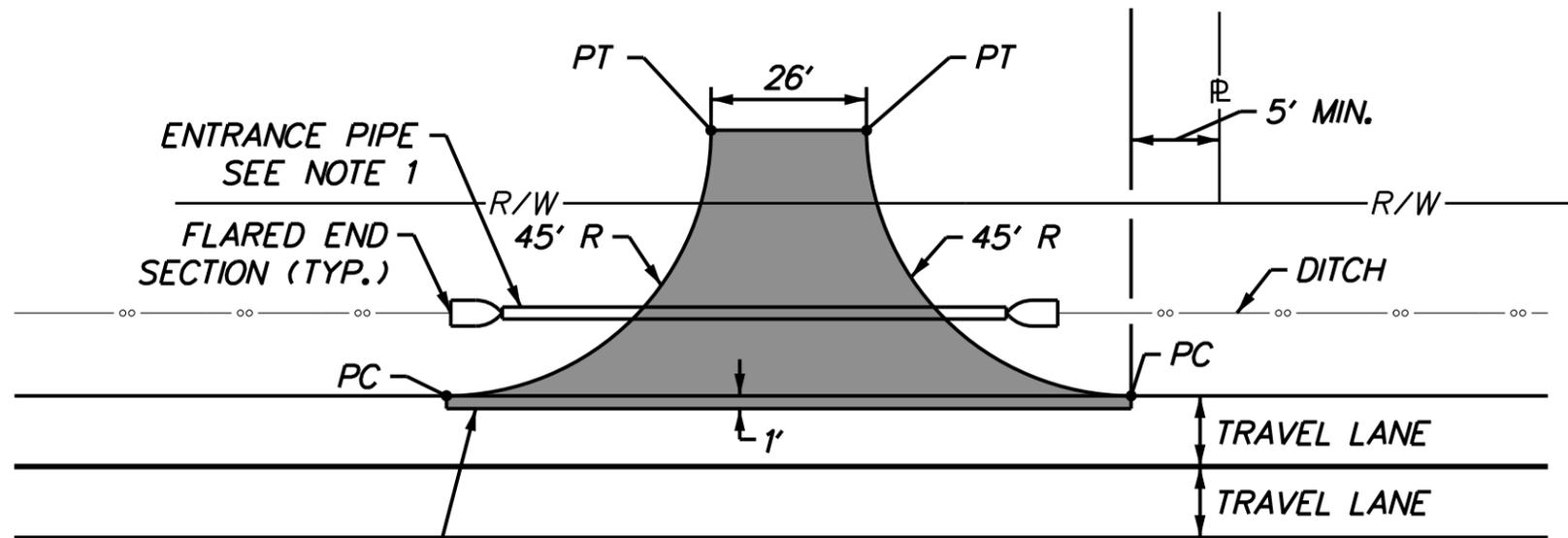
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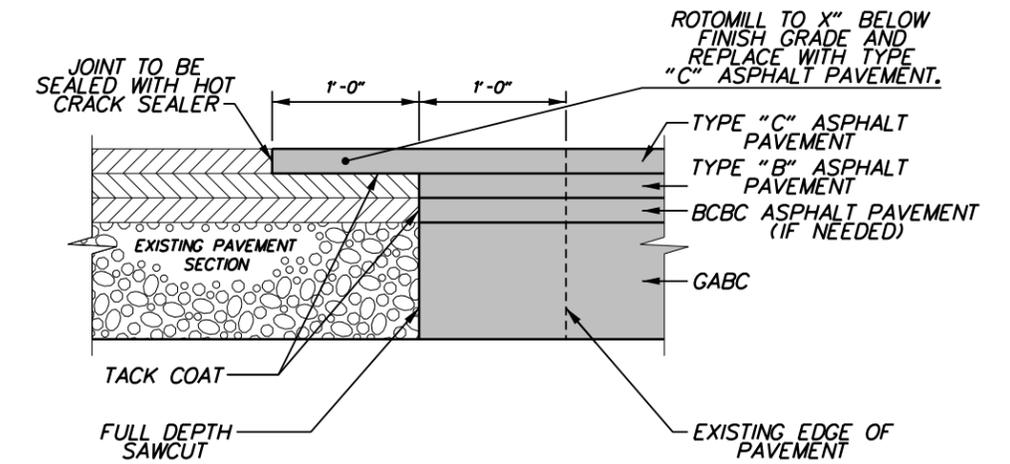


PLAN

UNIMPROVED FRONTAGE ROAD (NO SHOULDERS)

N.T.S.

SAWCUT LIMITS OF ASPHALT PAVEMENT SECTION SEE NOTE 2



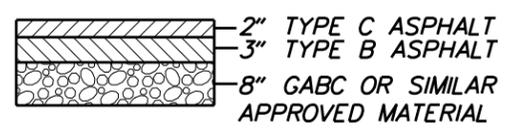
X = DEPTH OF TYPE "C" ASPHALT PAVEMENT

TYPICAL PAVEMENT TIE-IN DETAIL
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Description of Entrance Location:

Examples:

- * Locate center of Entrance 40ft from property corner.
- * Locate PC of entrance 5ft from property corner
- * Locate PC of entrance XX ft from ditch top of bank



ENTRANCE PAVEMENT SECTION

NOTES:

1. Use pipe materials as specified in DeIDOT Design Guidance Memorandum number 1-20. The longitudinal slope from the entrance pavement to the top of the pipe shall be 6:1. The minimum pipe size shall be 15".
2. When an asphalt pavement section is proposed, the existing frontage road pavement shall be sawcut 1' inside the edge of pavement. The tie-in shall be done per the asphalt pavement tie-in detail.
3. If stormwater runoff from a site does not discharge into State Right-of-Way during pre-existing conditions, DeIDOT will not allow the outflow to discharge into the State Right-of-Way for post conditions.

Maintenance of Traffic Notes, Continued

5. The Contractor shall be responsible for notifying the local 911 center, local schools and DeIDOT Community Relations of all roads and lanes to be closed a minimum of seven (7) calendar days before the closure.
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7. The Contractor shall provide pedestrian maintenance of traffic in accordance with the Delaware MUTCD during construction activities that impact existing pedestrian facilities.
8. Acceptable materials for temporary pedestrian paths shall include concrete, hot-mix, compacted millings or plywood walkway structure. Plywood walkway structures shall also include detectable edging and railings in accordance with ADA guidelines and the Delaware MUTCD. Stone or graded aggregate base course shall not be used for temporary pedestrian paths.
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Design Vehicle: SU 30
Road Frontage: Local Frontage Road

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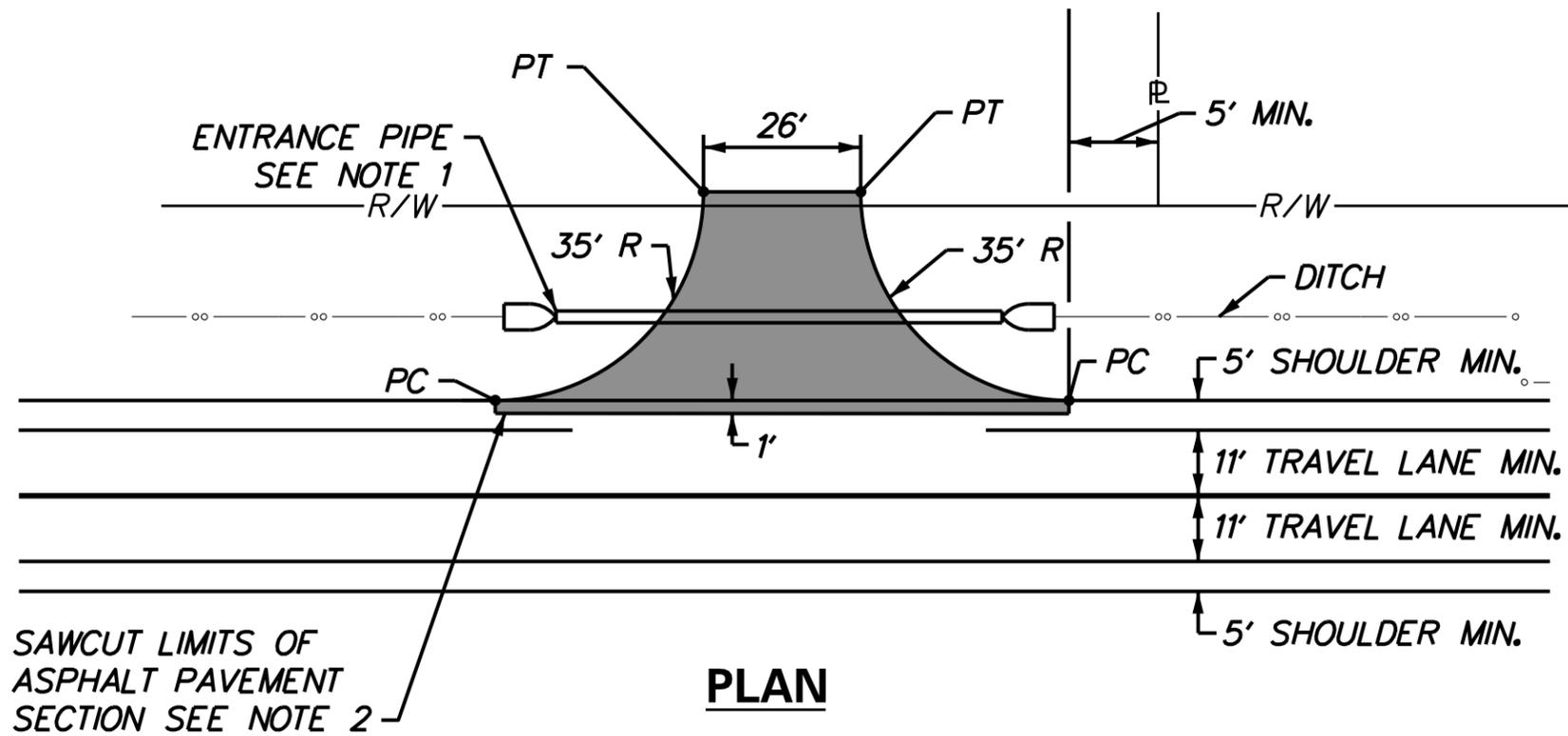
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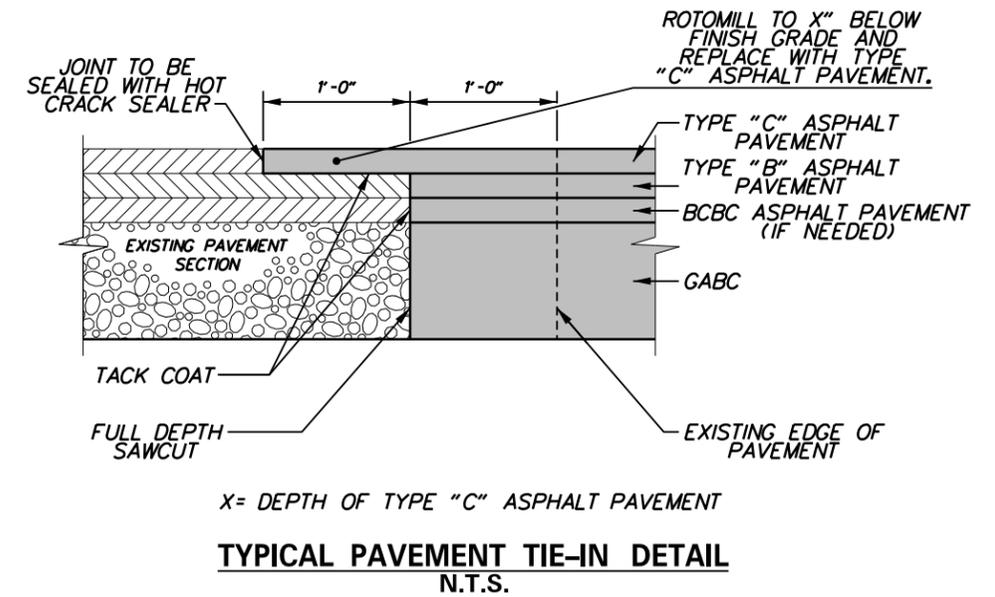
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LOCAL FRONTAGE ROAD
N.T.S.

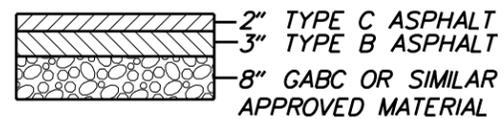


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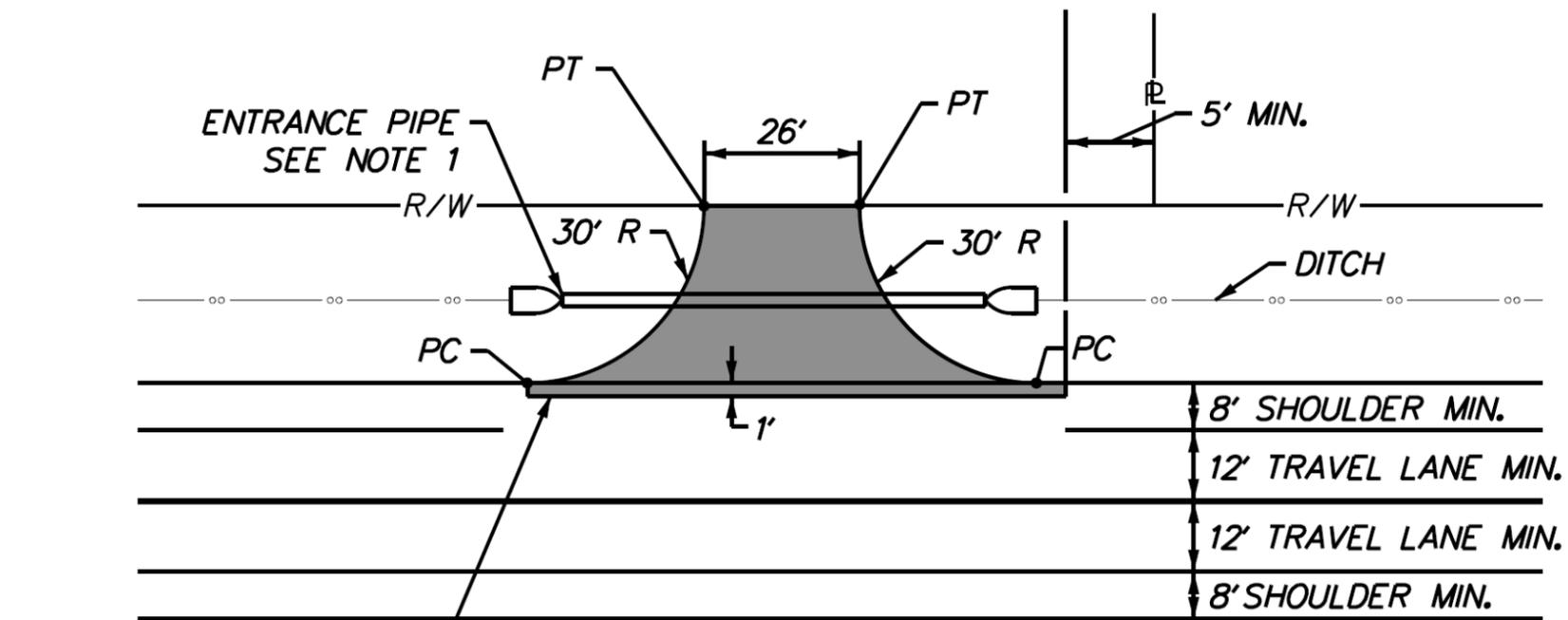
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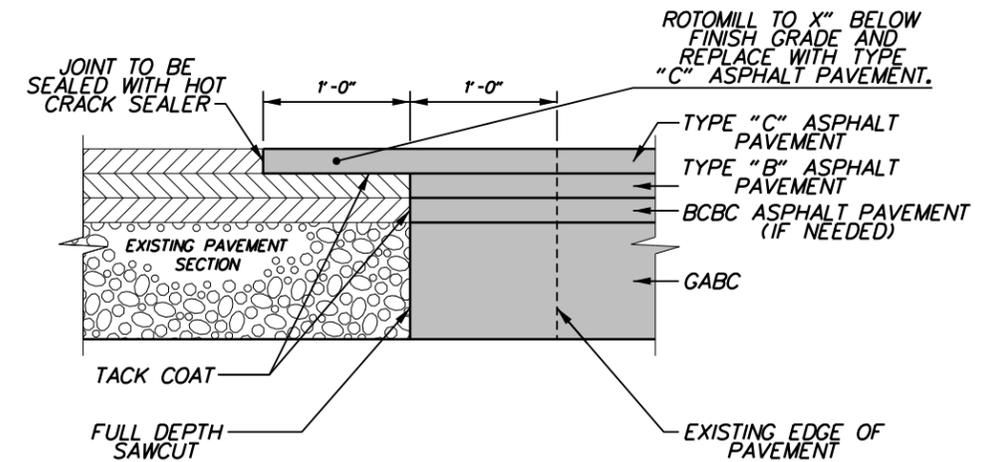
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SAWCUT LIMITS OF ASPHALT PAVEMENT SECTION SEE NOTE 2

PLAN

COLLECTOR FRONTAGE ROAD



X = DEPTH OF TYPE "C" ASPHALT PAVEMENT

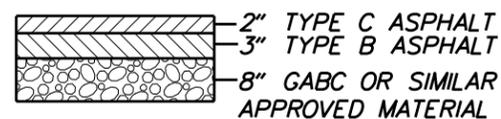
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Location Map

Insert Parcel view from PDCA

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Design Vehicle: SU 40
Road Frontage: Unimproved Frontage Road

DeIDOT General Notes Continued

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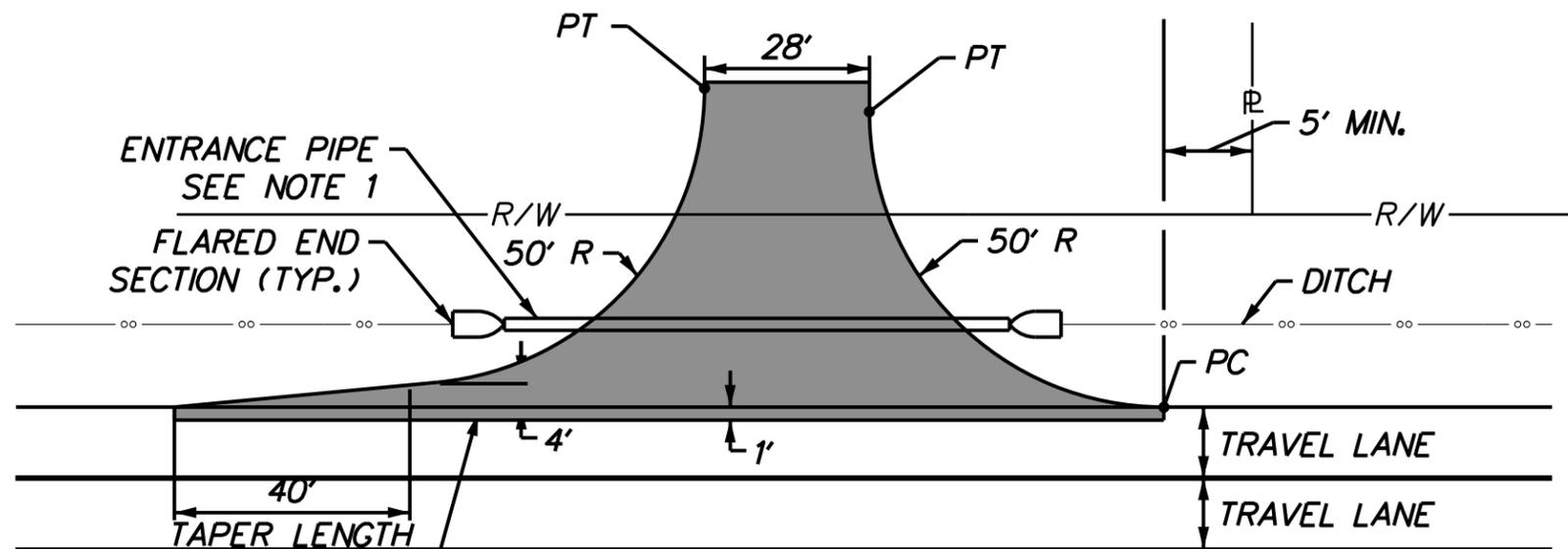
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- 2.The Department reserves the right to stop the Contractor's operations, IF, in the opinion of the Department's Representative, the Contractor's operations are not in compliance with the Delaware MUTCD, the specifications or the plans or if the Contractor's operations are deemed unsafe.
- 3.The Contractor shall be responsible for ensuring that the Transportation Management Center is notified each and every day when work is being performed in State right-of-way. The Contractor shall identify the type of work, any lane(s) or shoulder(s) closed, the length of time for work, when the lane restrictions are in place and when lane restrictions are lifted, contact person/phone number and State Inspector. The Transportation Management Center can be reached at (302) 659-4600.
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Sheet Index

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General Entrance Plan	2

DeIDOT Approval



SAWCUT LIMITS OF ASPHALT PAVEMENT SECTION SEE NOTE 2

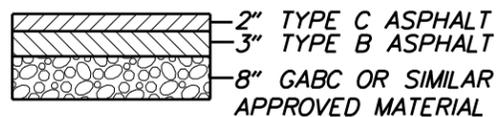
PLAN

UNIMPROVED FRONTAGE ROAD (NO SHOULDERS)

N.T.S.

Description of Entrance Location:

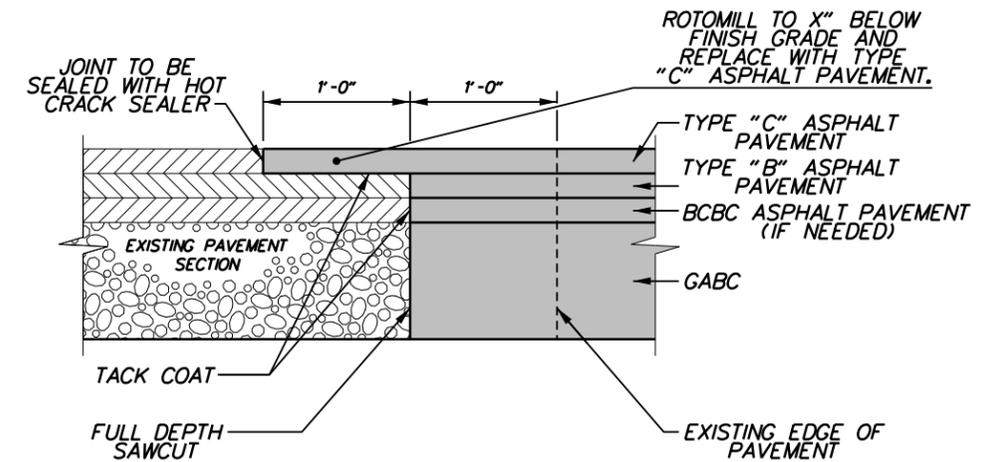
- Examples:**
- * Locate center of Entrance 40ft from property corner.
 - * Locate PC of entrance 5ft from property corner
 - * Locate PC of entrance XX ft from ditch top of bank



ENTRANCE PAVEMENT SECTION

NOTES:

1. Use pipe materials as specified in DeIDOT Design Guidance Memorandum number 1-20. The longitudinal slope from the entrance pavement to the top of the pipe shall be 6:1. The minimum pipe size shall be 15".
2. When an asphalt pavement section is proposed, the existing frontage road pavement shall be sawcut 1' inside the edge of pavement. The tie-in shall be done per the asphalt pavement tie-in detail.
3. If stormwater runoff from a site does not discharge into State Right-of-Way during pre-existing conditions, DeIDOT will not allow the outflow to discharge into the State Right-of-Way for post conditions.



X = DEPTH OF TYPE "C" ASPHALT PAVEMENT

TYPICAL PAVEMENT TIE-IN DETAIL
N.T.S.

Maintenance of Traffic Notes, Continued

5. The Contractor shall be responsible for notifying the local 911 center, local schools and DeIDOT Community Relations of all roads and lanes to be closed a minimum of seven (7) calendar days before the closure.
6. Allowable lane closure hours shall be in accordance with P.I. Number C-09, Planned Lane Restriction and Road Closure Policy, unless directed otherwise by DeIDOT Traffic Safety.
7. The Contractor shall provide pedestrian maintenance of traffic in accordance with the Delaware MUTCD during construction activities that impact existing pedestrian facilities.
8. Acceptable materials for temporary pedestrian paths shall include concrete, hot-mix, compacted millings or plywood walkway structure. Plywood walkway structures shall also include detectable edging and railings in accordance with ADA guidelines and the Delaware MUTCD. Stone or graded aggregate base course shall not be used for temporary pedestrian paths.
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DeIDOT General Notes

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- 4.A 72-hour (minimum) notice shall be given to the DeIDOT District Permit Supervisor prior to starting entrance construction.
- 5.Miss Utility of Delaware shall be notified three (3) consecutive working days prior to excavation, at 1-800-282-8555.
- 6.At the discretion of the Public Works inspector, any damaged or missing curb or sidewalk found on site will need to be repaired or replaced to meet current DeIDOT standards.
- 7.All signing, striping and maintenance of traffic is the contractor's responsibility and shall follow the guidelines shown in the Delaware Manual on Uniform Traffic Control Devices (Delaware MUTCD) for Streets and Highways (latest edition at the date of the Entrance Permit Approval). The Developer or property owners shall be responsible for maintenance of all signs installed as part of this project.
- 8.Plan location and dimensions shall be strictly adhered to unless otherwise directed by the DeIDOT Inspector.
- 9.A copy of the up-to date approved construction documents and DeIDOT approval letters shall be maintained on the project site at all times and be available for inspection by DeIDOT personnel.
- 10.Upon completion of the construction of the sidewalk or shared-use path across this project's frontage and physical connection to adjacent existing facilities, the Developer, the property owners or both associated with this project, shall be responsible to remove any existing road tie-in connections located along adjacent properties, and restore the area to grass. These disturbed areas shall be top-soiled (6" minimum), fertilized, seeded and mulched. Such actions shall be completed at DeIDOT's discretion, and in conformance with the Development Coordination Manual.
- 11.DeIDOT will not provide the respective local land use agency with a 'no objection to the issuance of the Certificate of Occupancy notice' until the entrance(s) are completed to the satisfaction of the Department.
- 12.Design, fabrication and installation of all permanent signing shall be as outlined in the latest version of the Delaware MUTCD.
- 13.Design and installation of all pavement markings and striping shall be as outlined in the latest version of the Delaware MUTCD. For final permanent pavement markings:
 - a.Epoxy resin paint shall be required for long line striping.
 - b.Thermo plastic (extruded or preformed material) will be required on Asphalt surfaces, for short line striping, i.e. symbols/legends.
 - c.Permanent pavement marking tape (per DeIDOT's approved materials list) will be required on Concrete surfaces, for short line striping, i.e. symbols/legends.
- 14.Removal of pavement marking paint or tape shall comply with Section 5.11.2 of the Development Coordination Manual.
- 15.Breakaway posts shall be used when installing all signs. Reference DeIDOT's Standard Construction Details, Section VIII – Traffic, T-15.
- 16.All fixed objects are to be a minimum of 10-feet from the edge of travel lane and 5-feet from the edge of pavement. Reference Section 5.5.5 of the Development Coordination Manual. Any fixed object that does not meet this requirement shall be relocated.
- 17.It is the contractor's responsibility to ensure that all paving within the State of Delaware right-of-way is installed in such a way that no ponding of water exists after paving is complete.



DELDOT GENERAL COMMERCIAL ENTRANCE PLAN FOR

PARCEL: _____

PROJECT: _____

ROAD FRONTAGE: _____

Location Map

Insert Parcel view from PDCA

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Design Vehicle: SU 40
Road Frontage: Local Frontage Road

DeIDOT General Notes Continued

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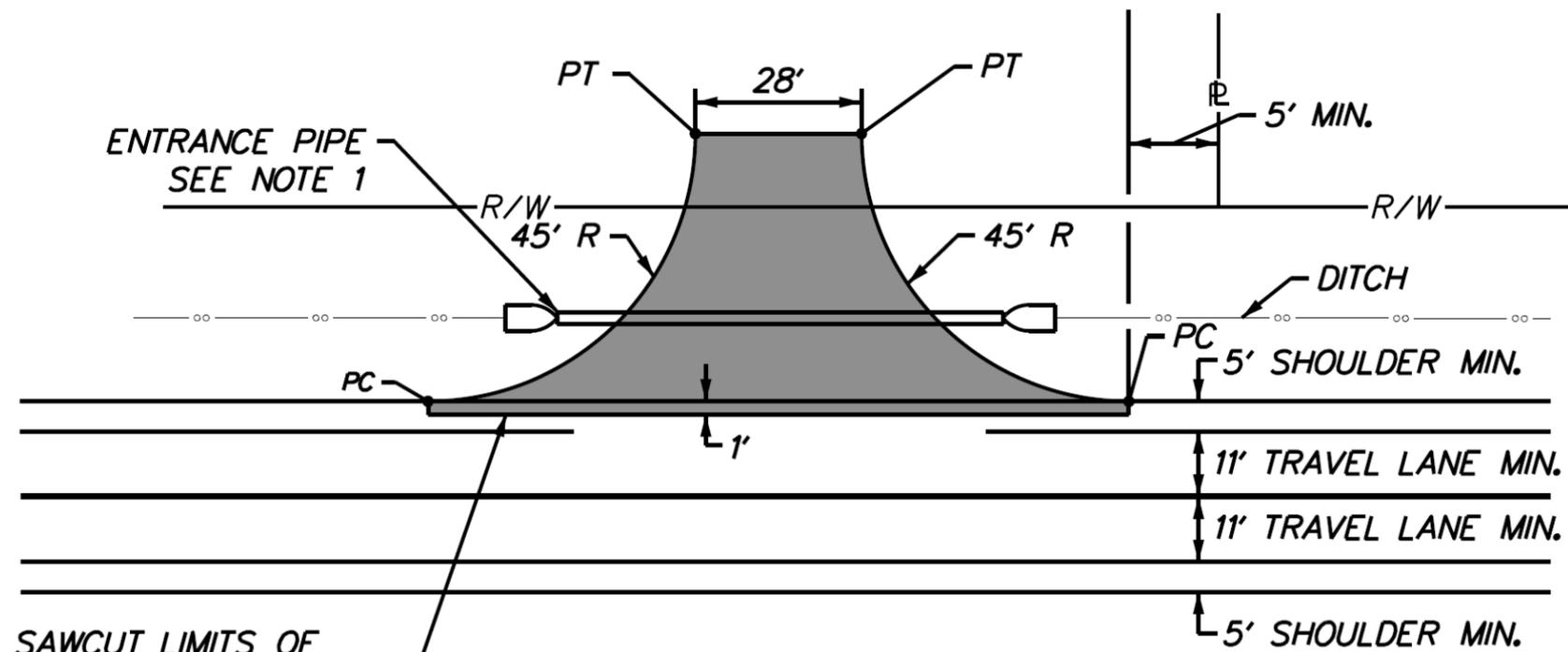
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SAWCUT LIMITS OF ASPHALT PAVEMENT SECTION SEE NOTE 2

PLAN

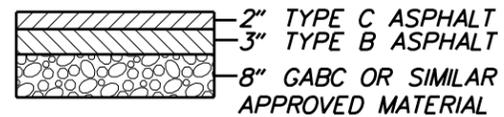
LOCAL FRONTAGE ROAD

N.T.S.

Description of Entrance Location:

- Examples:**
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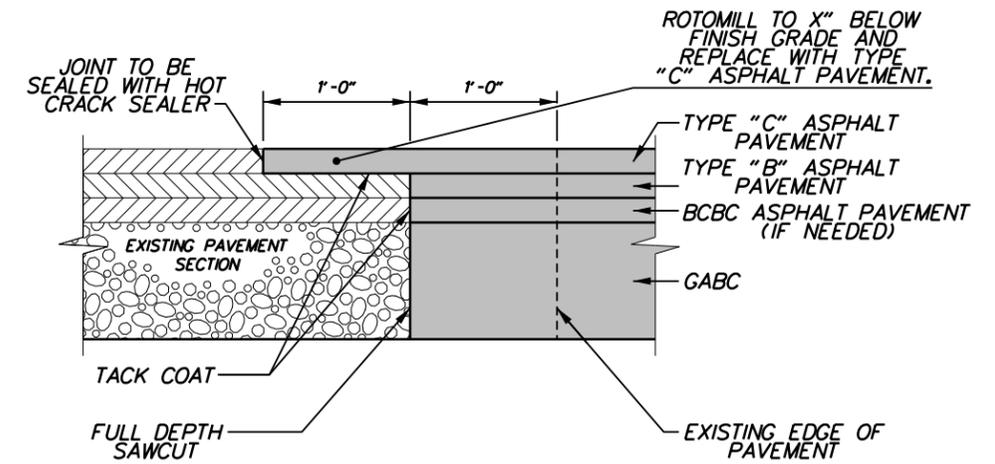
LIMIT OF IMPROVEMENTS



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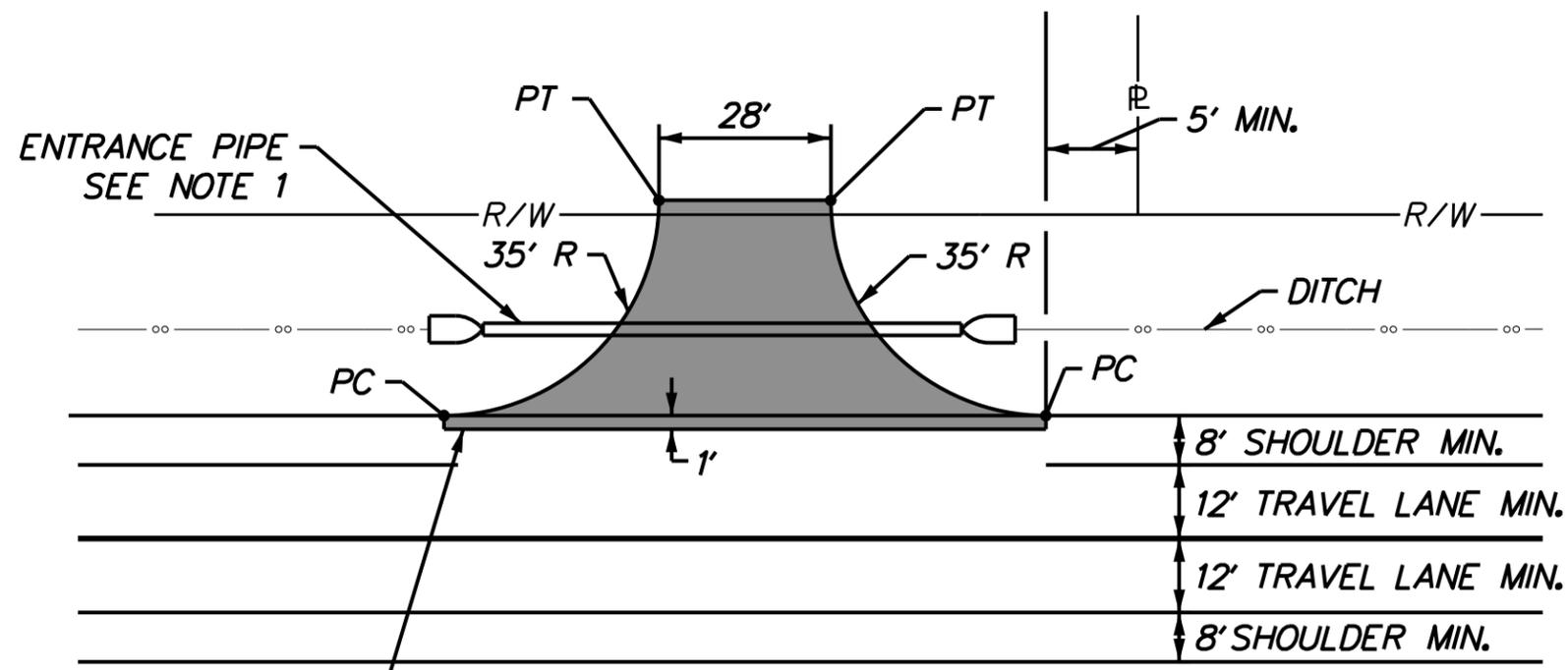
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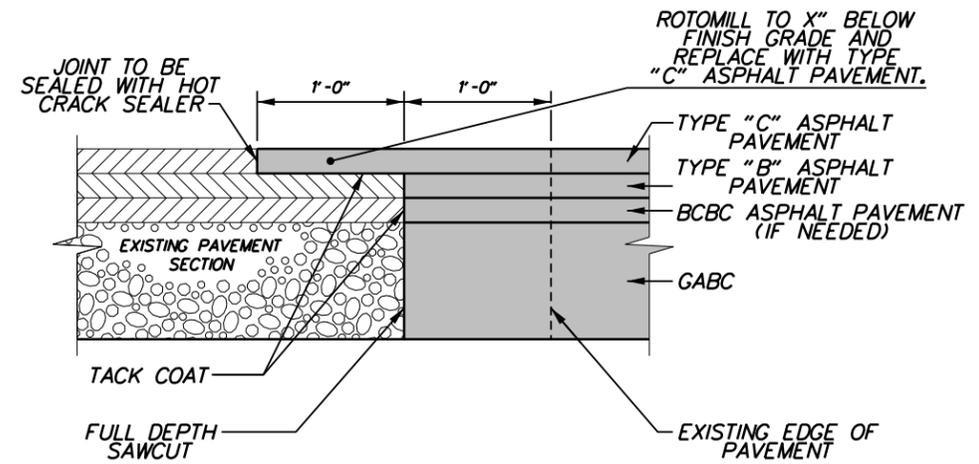
DeIDOT Approval



SAWCUT LIMITS OF ASPHALT PAVEMENT SECTION SEE NOTE 2

PLAN

COLLECTOR FRONTAGE ROAD



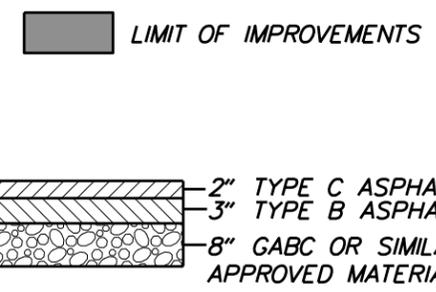
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