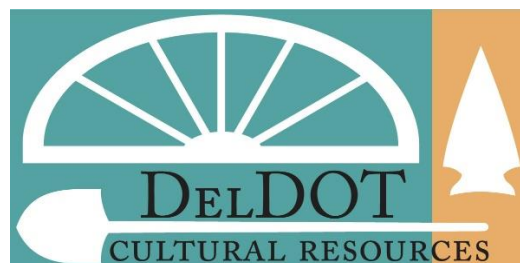


Evaluation-Level Architectural Study of the Realignment of Old Orchard Road at Wescoats Corner (T201609601) Project Area



By

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Abstract

The purpose of this report is to identify and evaluate historic resources within the area of Wescoats Corner and its intersection with Savannah Road (US 9) in Lewes, Delaware as part of a roadway realignment project which will be funded by the Federal Highway Administration (FHWA). The project is subject to review and compliance with Section 106 of the National Historic Preservation Act of 1966 (NHPA) as amended and its implementing regulations under 36 CFR Part 800. The FHWA will serve as the lead federal agency for this project. As a part of this process, the Delaware Department of Transportation (DelDOT) has determined that because of the nature and scope of this undertaking, the proposed project has the potential to cause effects to historic properties if any such properties exist in the project area or area of potential effects (APE). Thus, DelDOT is completing an assessment of potential historic properties and effects as a result of the project in compliance with Section 106 and in consultation with the Delaware State Historic Preservation Office (DE SHPO).

A total of sixteen properties older than 45 years were initially identified within the project area. Twelve of these had been previously identified and surveyed, but no National Register of Historic Places (NRHP) evaluations could be found. One initially identified property (S00980) was determined to have been mapped incorrectly and was outside of the APE; therefore, it was not evaluated. Additionally, one previously identified archaeological site was located within the APE (S00530) but was not evaluated as a part of this report. Of the remaining ten properties, seven (S00218, S00975, S01023, S01024, S01025, S01026 and S01029) have been demolished. Therefore, the three extant previously identified properties (S00973, S00976, and S00979), along with the four newly identified properties (S13306, S11307, S13308, and S13327) were documented and evaluated for their eligibility for the NRHP. These seven properties received new or updated Cultural Resource Survey (CRS) forms to document their conditions. All were found not eligible for listing in the NRHP.

The current report is the result of an independent effort meeting the DE SHPO standards as outlined in *Architectural Survey in Delaware*, 2015. Architectural field surveys were conducted by DelDOT qualified staff in January 2020. All forms and original information pertaining to these architectural and property evaluations can be found at the Delaware Department of Transportation's Environmental Studies Office in Dover, Delaware.

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Introduction and Project Description

The proposed undertaking involves the realignment of Old Orchard Road (S269A) to intersect with Savannah Road (US 9) and Road 268A. The realignment will provide a new four-legged, signalized intersection at Old Orchard Road and Savannah Road as well as a roundabout at Wescoats Road and Marsh Road. Removal of the un-signalized T-intersection at Savannah Road and Wescoats Road will improve intersection safety and the operational capacity of SR1. Other work connected with the realignment project includes multi-modal improvements for bicycle and pedestrian access, such as crosswalks, sidewalks, and bike lanes. The concept design for the project is included below (Figures 1 and 2) along with a map of the project area of potential effects (APE) submitted to and accepted by the Delaware State Historic Preservation Office (DE SHPO).



Figure 1: A view of the southern half of the proposed realignment project.



Figure 2: A view of the northern half of the proposed realignment project.

Description of Area and Context

The project APE consists of just under ninety (90) acres of land that were considered for the identification- and evaluation-level surveys (Figure 3). Wescoats Corner serves as a large commercial area for Lewes and surrounding communities. The project area consists of several commercial buildings centered around the intersection with Savannah Road, as well as multiple residential properties, which stand individually or in groups within suburban developments. These residential structures are primarily mid-century houses. These homes and commercial buildings have replaced some of the early-to-mid-twentieth century residences and agricultural complexes, but some of the homes have also been converted to commercial use.

Realignment of Old Orchard Road at Wescoats Corner, APE



Figure 3: A map of the project APE accepted by the DE SHPO.

Research Design

Goals and Methods

The goal of this study was to review previously identified architectural resources, identify unrecorded properties in the APE that are 45 years of age or older, and evaluate the eligibility of these properties for the National Register of Historic Places (NRHP) according to applicable historic contexts. The Criteria of Eligibility were applied to any identified properties in consultation with the DE SHPO and other consulting parties to determine if any of those properties are eligible for inclusion in the NRHP.

A search for previously identified properties was conducted using the DE SHPO's Cultural and Historical Resource Information System (CHRIS) and relevant cultural resource survey (CRS) forms were gathered and reviewed for past recommendations, relevance to the current project scope and APE, accuracy, and comprehensive quality. Architectural history and archaeology reports were also found on the DeIDOT Archaeology website database and reviewed to assess the accuracy and completeness of the information found on CHRIS.

A cartographic study of the APE and surrounding areas was conducted to confirm the locations of previously identified properties, flag additional properties for study through field investigations, and confirm property boundaries. Historic atlases (Beers, etc.), historic and contemporary United State Geological Survey (USGS) topographic maps, and aerial photographs aided in the understanding the development of the area throughout the twentieth century and the accuracy of information in previous reports.

Documentary research was conducted to further understand the general history and development of the area, dates of construction for various structures, and property evolution so that an evaluation of NRHP eligibility for each identified property within the APE could be developed. Property research was conducted using the online database for the Sussex County Recorder of Deeds, as well as on the Assessment and Tax office online property records database. The databases provided specific information about property ownership and parcel divisions over time, alterations to the properties over time as recorded in permit records, confirmed owner names, and helped narrow down the dates of construction. Construction plans for SR 1 and areas adjacent to the APE were also obtained from the DeIDOT plan archive and reviewed for additional information on property history.

Intensive level survey was conducted on January 29, 2020 and February 20, 2020 for each identified property within the APE, including previously documented properties and new properties. All photographs were taken from the public right-of-way, so not all sides of each property were accessible. Survey Update Forms (CRS-10) will be completed for previously surveyed properties, and new forms—including Property Identification (CRS-1), Main Building (CRS-2), Secondary Building (CRS-3), Map Form (CRS-9), and Photo Forms (CRS-13)—will be completed as applicable for properties identified as a result of this effort.

Expected Results

Based on preliminary research and a review of previous architectural surveys in the APE and surrounding area, it was expected that properties along the corridor would be residential and commercial in nature. It is expected that identified properties would largely fit within the **Suburbanization and Early Ex-Urbanization (1940-1960+/-)** time period, with a few examples from the **Urbanization and Early Suburbanization (1880-1940+/-)** period, as defined in the *Delaware Comprehensive Historic Preservation Plan* and the *Historic Context Master Reference Summary*. Property types would most likely be associated with the following historic themes: **Agriculture; Retailing and wholesaling; Professional services; Settlement patterns and demographic changes; Architecture, engineering, and decorative arts; and Major families, individuals, and events.**

Historic Background and Context

Relevant historical information about the APE and the surrounding area has been included in this report, and more complete information about the historical context for the larger area can be found in these previous reports:

- Schmidt, Jon. *National Register Eligibility Status and Evaluations for Historic Resources Affected by the Five Points Maintenance Facility/Park and Ride*. (2011)
- Gundy, Barbara, Brian Schilling, and Gerald Kuncio. *Sussex County, Delaware, Lewes and Rehoboth Hundreds, Western Parkway Archaeological Predictive Surfaces*. (2006)
- Kellogg, Douglas C., Wade P. Catts, Amy Rose Jessup, and Tod L. Benedict. *Phase I Archeological survey and Phase II Evaluations of Selected Ares of the West Rehoboth Expansion Dewey Beach Sanitary Sewer District, Sussex County, Delaware*. (1999)

Preliminary surveys of the area were conducted in 1977, when the site of the demolished Rhodes Shankland House (S00218) was recorded. A 1979 survey recorded some of the buildings that characterized this area in the first half of the twentieth century (including S00975, S00976, S00979, and S01029). A 1991 survey updated information on some of these properties, many of which are now demolished (including S01023, S01024, S01025, and S01026).¹ However, these previous documentation efforts focused on recordation of sites and no evaluations of NRHP eligibility could be found.

The history of increasing economic developments in Sussex County is detailed in the report “Phase I Archeological Survey and Phase II Evaluations of Selected Areas of the West Rehoboth Expansion Dewey Beach Sanitary Sewer District, Sussex County, Delaware,” and is summarized below.² As the railroads spread throughout the county in the mid-nineteenth century, agricultural industries, such as canning, grew and so did the towns and villages around the railroads. The 1868 Beers map of the Lewes & Rehoboth Hundred labels what is now Wescoats Corner as “Prettymanville” and notes the presence of a large property owned by C.W. Prettyman (Figure 4) at the site of one of the properties within the study area (S00979).³

A 1926 aerial image (Figure 5) records some of the homes and farms scattered throughout clearly delineated fields and wooded areas.⁴ A 1937 aerial image of the same area shows that agriculture still dominated the land: only a few houses can be seen, fields are clearly outlined, and the roads still appear to be unimproved.⁵ These images show some early twentieth century agricultural complexes consisting of farmhouses, barns, other outbuildings, and agricultural fields.

¹ Delaware Division of Historical and Cultural Affairs, Cultural and Historical Resource Information System (CHRIS). <https://chris-users.delaware.gov>.

² Douglas C. Kellogg, Wade P. Catts, Amy Rose Jessup, and Tod L. Benedict, *Phase I Archeological survey and Phase II Evaluations of Selected Ares of the West Rehoboth Expansion Dewey Beach Sanitary Sewer District, Sussex County, Delaware*, West Chester, PA: John Milner Associates, Inc. 1999.

³ J. G. Beers, *Atlas of Delaware*, Philadelphia, PA: Pomeroy & Beers, 1868.

⁴ “1926 Orthoimagery,” Delaware First Map.

https://www.arcgis.com/home/webmap/viewer.html?url=https%3A%2F%2Ffirstmap.delaware.gov%2Farcgis%2Frest%2Fservices%2FDE_Imagery%2FDE_Imagery_1926%2FImageServer&source=sd.

⁵ Delaware Division of Historical and Cultural Affairs, *CHRIS*.

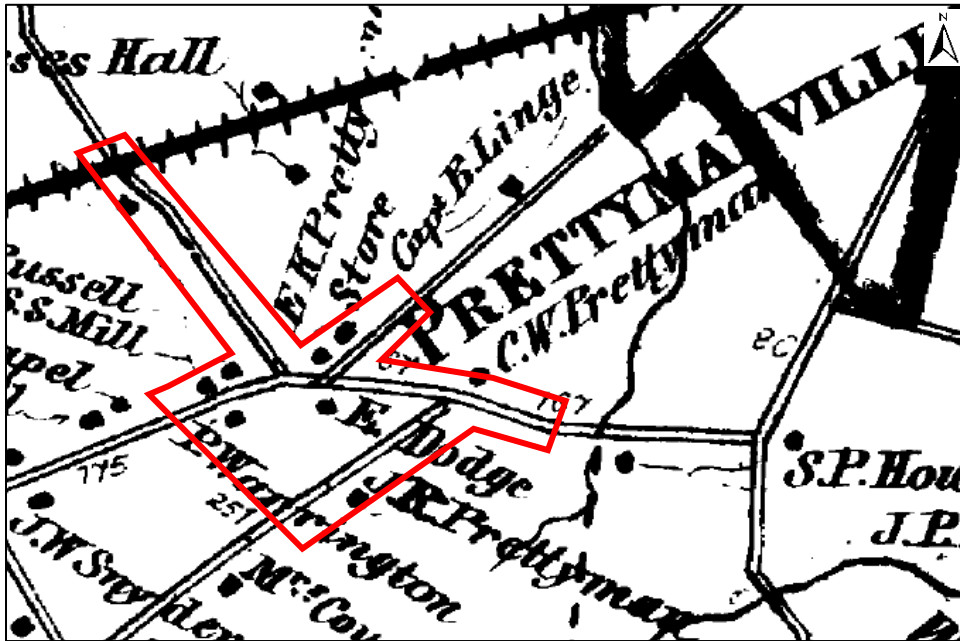


Figure 4: The 1868 Beers map of the Lewes and Rehoboth Hundred shows the Wescoats Corner area as Prettymanville. A general project area is indicated in red.

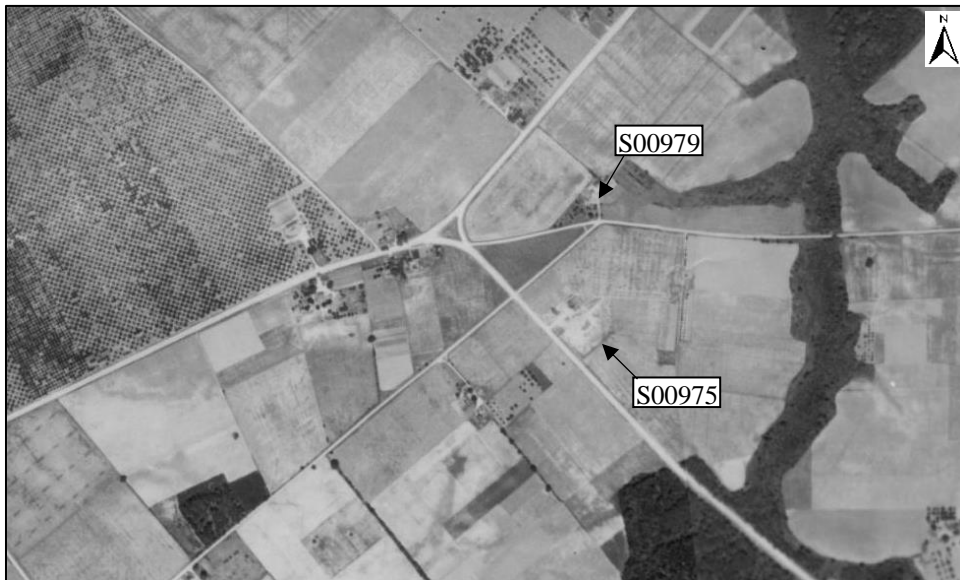


Figure 5: An aerial view of Wescoats Corner in 1926. The project area is broadly shown here, and agricultural fields, including orchards can be distinguished. Several of the currently extant properties are labeled here for reference.

The Eschenbach property (S00979) is the only surviving example of these farm complexes in the project area, and the main farmhouse and barn have been modified and expanded over the years. It is less recognizable now due to these changes and the conversion of the surrounding farm fields to new residential developments and commercial enterprises. Other farm complexes have been noted in the area (S00218 and S00975), but they have been demolished. Beginning in the mid-twentieth century these older complexes began to be renovated, sold, and demolished.

Little information about the large landowners listed in the area in the 1868 Beers map can be found, and property records are not fully articulated for some of the current parcels. However, in the 1920s, Wescoats Corner appeared to be an increasingly important intersection.⁶ The land to the east of Savannah Road is noted on construction plans from 1924 as belonging to W.J. Wescoat, hence the name of the intersection (Figure 6). A member of the family may also have owned a garage at the corner, as recorded in the plans. These early examples of automobile-related businesses illustrate the growing importance of cars in the early twentieth century both in Sussex County and nationwide. Since this time, a garage or automotive shop has been present in this vicinity, including the now demolished Manlove Automotive Service Inc. (S01024) and the various automotive businesses that have inhabited the buildings on the Fully Belly Bistro/C.J.'s Beach Bays property (S13306).

The construction of Fort Miles on Cape Henlopen in 1941 as an effort to defend Delaware Bay during World War II may have provided some impetus for the population expansion in the area, but general population growth and economic expansion across the United States was also common during the post-war period. The national post-World War II economic boom, the demand for new housing for a growing population, and the increase in beach traffic in the latter half of the twentieth century all contributed to the development of Wescoats Corner. Construction of new homes during this time was simultaneous with the improvement of surrounding roads.

The expansion and realignment of Coastal Highway/SR 1 in the 1950s and the construction of new roads, like the Nassau Bypass, to accommodate increased traffic further intensified development along SR 1 in the post-war decades and contributed to sprawl around Lewes and Rehoboth Beach. USGS topographic maps record the rapid development of Wescoats Corner, and the Lewes and Nassau areas, in the mid-twentieth century (Figure 7).⁷ Aerial images from 1954 show many new structures on properties within the current project area (Figure 8).⁸ Mid-century modern houses sprang up along Savannah Road and Clay Road. Growth and development continued in Wescoats Corner throughout the twentieth century and into the present.

⁶ The State of Delaware State Highway Department, "Plan for Construction of Contract No. CS-30," Delaware Department of Transportation Archives, 1924.

⁷ United States Geological Survey, *Lewes*, 1:12,000, USGS Historical Topographic Map Explorer, 1954. <http://historicalmaps.arcgis.com/usgs/>. United States Geological Survey, *Fairmount*, 1:12,000, USGS Historical Topographic Map Explorer, 1954. <http://historicalmaps.arcgis.com/usgs/>.

⁸ Delaware Division of Historical and Cultural Affairs, *CHRIS*.

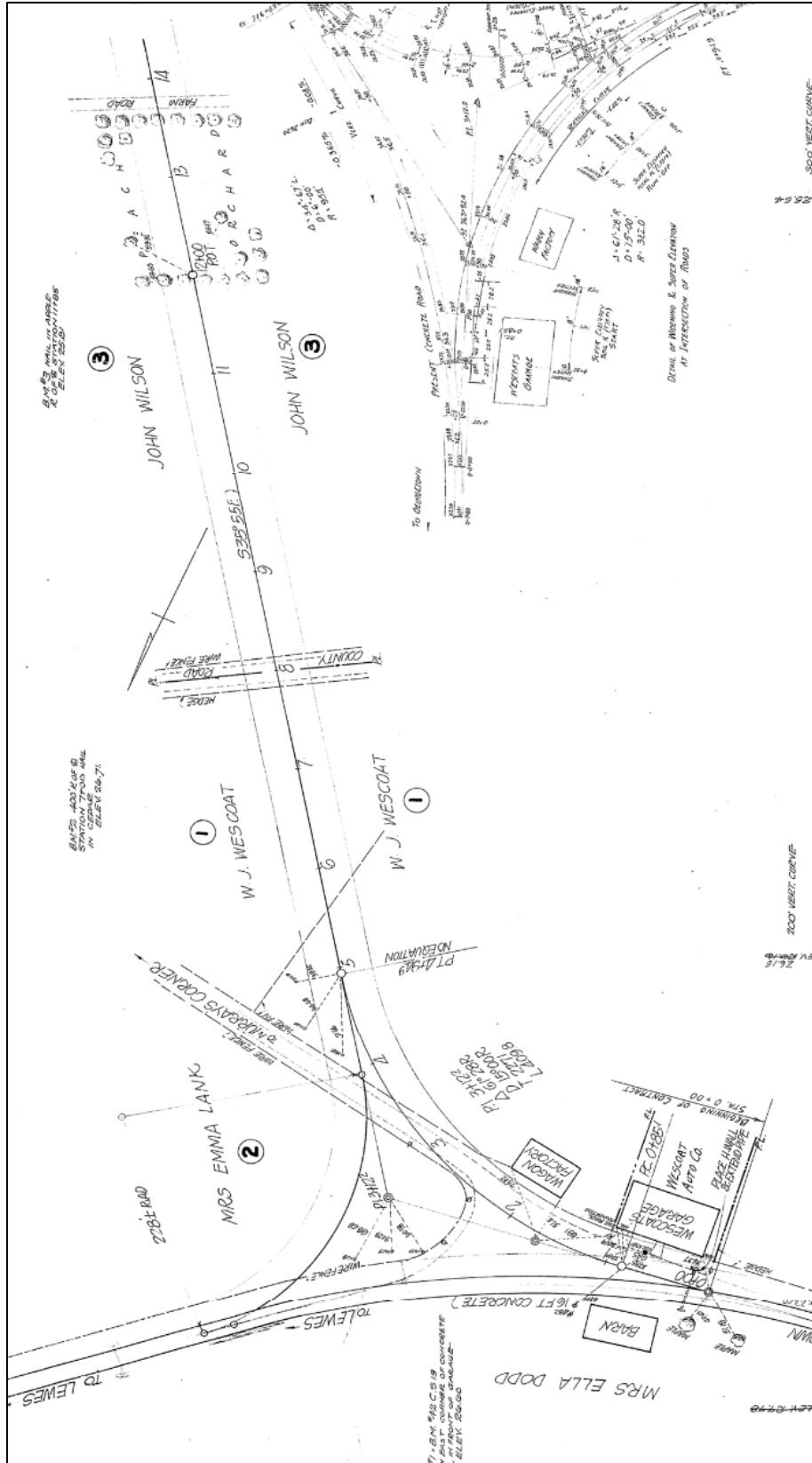


Figure 6: State Highway construction plans from 1924 record some of the landowners in the area during this period.

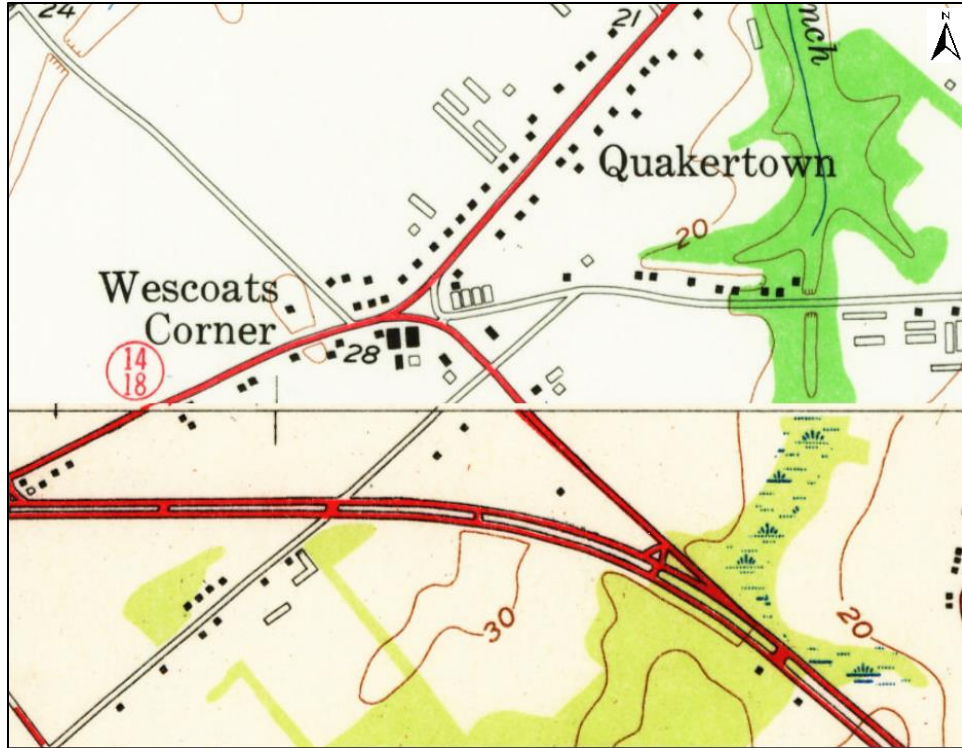


Figure 7: USGS topographic maps of Lewes (top) and Fairmount (bottom) show the rapid development in the Wescoats Corner by 1954.



Figure 8: A 1954 aerial view of the area shows the post-World War II expansion of housing in the area. Two of the older properties in the area are noted here, and a number of newer structures have begun to surround them on all sides in the Wescoats Corner area. Photo from CHRIS.

Today, the project area is crowded with commercial structures and residential neighborhoods, and its agricultural history is only visible in the area between Clay Road and Wescoats Road, where a barn is the sole surviving structure from an early agricultural complex (S00975). According to property records and aerial images, another round of development and expansion occurred in the area in the late 1980s and early 1990s. Many buildings in the APE experienced additions, upgrades, and remodeling.⁹ This was likely done as an attempt to modernize and expand the structures as they were nearing their fifth decade of service. Some properties, including the office complex on the south side of Savannah Road (S00973), were converted from residential to commercial use, a trend common in surrounding areas like Nassau. The area has become a part of a larger, bustling commercial district around Lewes, serving the local community as well as the large number of beach tourists.

⁹ Sussex County Recorder of Deeds (various), Georgetown, Delaware.
<https://deeds.sussexcountyde.gov/LandmarkWeb>.

Property Types

The architectural resources within the APE consist of residential and commercial properties from the first half of the twentieth century. This section defines these resource types more specifically and details their character-defining features. Properties qualifying for the NRHP must retain their integrity in order to establish their significance and, thus, provide justification for their eligibility.

According to the National Park Service (NPS), properties may be significant within local, state, or national historic trends and contexts. In order to be eligible for the NRHP under Criterion A, properties must be “associated with events that have made a significant contribution to the broad patterns of our history.” This significance may include association with one event, a series of events, or patterns of development in a specific area or historic context within which a property is located.

Eligibility for the NRHP under Criterion B requires that properties are “associated with the lives of significant persons in our past.” Rather than being simply commemorative, properties in this category are generally illustrative of a person’s important achievements and are usually associated with the productive lives of these significant people or groups.

Properties determined eligible for the NRHP based on their architectural significance are classified under Criterion C. The criterion is defined as follows: “[Properties] that embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.” As a result, the property types “must retain most of the physical features that constitute that style or technique.” Properties that have lost some historic materials or detailing may still be eligible if they retain the *majority* of the features that illustrate a specific style “in terms of massing, spatial relationships, proportion, pattern of windows and doors, texture of materials, and ornamentation.”

Criterion D is used for properties “that have yielded or may be likely to yield, information important in history or prehistory.” Eligible properties within this criterion have been used as a source of data and contain more data that has not yet been retrieved, or if it has been determined through research and testing that it is a likely source of data. Potential data is considered “important” if it could help fill data gaps or contribute to alternative theories, or if it is concerning a priority area under a state or federal agency management plan.¹⁰ For instance, properties associated with the development of highways and services along these new roads as a result of the growth of the automobile within American culture after 1903 may have the potential to “yield information about construction technology that otherwise could not be gleaned from documentary sources.”¹¹

¹⁰ National Park Service, *National Register Bulletin 15b: How to Apply the National Register Criteria for Evaluation*, Washington, DC: United States Department of the Interior, 2002.
<https://www.nps.gov/nr/publications/bulletins/nrb15/>.

¹¹ Elizabeth Rosin and Martha H. Bowers, *Historic Context for Evaluation of Commercial Roadside Architecture*, East Orange, NJ: The Cultural Resource Group Louis Berger & Associates, Inc., 1992. 25.

In addition to being determined to be significant, eligible properties must also retain their integrity, or their ability to communicate this significance. “Integrity” is defined by the NPS as seven aspects: location, design, setting, materials, workmanship, feeling, and association. These aspects are further defined below:

1. Location is the place where the historic property was constructed or the place where the historic event occurred.
2. Design is the combination of elements that create the form, plan, space, structure, and style of a property.
3. Setting is the physical environment of a historic property.
4. Materials are the physical elements that were combined or deposited during a particular period and in a particular pattern or configuration to form a historic property.
5. Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.
6. Feeling is a property's expression of the aesthetic or historic sense of a particular period of time.
7. Association is the direct link between an important historic event or person and a historic property.¹²

Residential Properties

Structures in Lewes and around SR 1 in the early twentieth century largely consisted of agricultural complexes. Many late nineteenth and early twentieth century homes in rural areas like Sussex County were simple in structure and reflected vernacular architectural detailing and design. Only one such house (S00979) is extant in the project area, so it is difficult to characterize this area historically. This house is an example of the Colonial Revival style that was common throughout the country from 1880 to 1955. As described by Virginia McAlester the style changed over time. Early examples were “free interpretations with details inspired by colonial precedents. During the first decade of this century, Colonial Revival fashion began to shift toward carefully researched copies with more correct proportions and details.”¹³ The style has several character-defining features, including the following: decorative front entryways with pediments and pilasters, entry porches supported by columns, fanlights, or sidelights; generally symmetrical facades; and multiple-pane double-hung sash windows. A variety of configurations developed during the major period of construction, including hipped roof with or without full-width porches (which account for about half of examples), side-gable (which accounts for almost one-third of this style), and several other less common varieties.¹⁴

As agricultural fields were subdivided by the larger landowners, new developments were constructed to meet the needs of a growing population and mid-century architectural styles, such as Minimal Traditional, appeared. Minimal Traditional style houses, which were commonly built between 1935 and 1955, are small, one-story houses that feature low-pitched or moderately pitched and often gabled roofs. They include features such as double-hung windows, little or no roof

¹² National Park Service, National Register Bulletin 15b.

¹³ Virginia Savage McAlester, *A Field Guide to American Houses*, New York: Alfred A. Knopf, 2015. 432.

¹⁴ McAlester, 409-410.

overhang, and they have a minimal amount of architectural detailing.¹⁵ Several examples of this style of home were constructed in the Wescoats Corner area.

Commercial Properties

Post-World War II commercial buildings include characteristics such as the following: concrete-block or brick exteriors; one-story with an often sprawling footprint; low-pitched or flat roofs; and other features that would be geared toward attracting the attention of passersby in their cars.¹⁶ Mid-twentieth century buildings utilize common, mass produced materials, and their simple designs demonstrate few architectural features, which further emphasizes their purpose as utilitarian and industrial structures whose primary use is for commercial enterprises. They are fronted toward a road in order to attract customers as they pass by in their cars. There are several examples of this style of construction in Wescoats Corner.

Religious Properties

Only one religious property is located within the study area and project APE: Solid Ground Church. The nature of these property types requires a stronger “justification on architectural, artistic, or historic grounds to avoid any appearance of judgment by government about the validity of any religion or belief,” according to the National Park Service. In order to be eligible for the NRHP specifically for Criterion A, a religious property must be significant “under a theme in the history of religion having secular scholarly recognition,” “under another historical theme, such as exploration, settlement, social philanthropy, or education,” or “significantly associated with traditional cultural values.”¹⁷ To be eligible under Criterion B, a religious property should be associated with an individual or group who were influential in a religious institution or movement, or within the social, political, or economic history of the area. In order to be found eligible under Criterion C, a religious property must have significant architectural or artistic value. In order to be eligible under Criterion D, a religious property must be able to yield important information about religious practices related to a cultural group or historic themes.¹⁸

¹⁵ McAlester, 587-589.

¹⁶ Chester H. Liebs, *Main Street to Miracle Mile: American Roadside Architecture*, Baltimore and London: The Johns Hopkins University Press, 1995.

¹⁷ National Park Service, *National Register Bulletin 15*.

¹⁸ *Ibid.*

Property Descriptions and Evaluations

A total of sixteen properties older than 45 years were initially identified within the APE during the Phase I investigation, twelve of which had been previously identified and documented. One previously identified archaeological site was located within the APE (S00530) was not evaluated as a part of this report. A review of previous cultural resource studies and CRS forms indicated that one of the previously identified properties (S00980) had been mapped incorrectly and was outside of the APE. Of the remaining ten properties, seven (S00218, S00975, S01023, S01024, S01025, S01026 and S01029) have been demolished. Survey Update Forms (CRS-10) were completed for six of these properties to document the demolition; no forms were completed for S00918 as it had previously been noted as demolished in CHRIS. CRS Property Identification (CRS-1), Main Building (CRS-2), Secondary Building (CRS-3), Map (CRS-9), and Digital Photographs (CRS-13) forms were created as needed for the remaining three properties and for the four newly identified properties.

The seven extant properties in the APE were formally evaluated or assessed for National Register eligibility; all of them are recommended not eligible for the NRHP.

Jump House/Commercial Complex (S00973)

33712 Wescoats Road
Lewes, DE 19958
Tax Parcel #334-6.00-27.01 (current)
Geographic Coordinates: 38.751018, -75.162809

Description:

This office complex, now home to Lewis Research, represents a conversion from residential to commercial use for the structure that is hidden beneath the layers of modern additions and materials. The original “Jump house” recorded here in 1979 can still be seen in the southern corner of the property, though it has substantial additions. The northeast (primary) façade of the house with its bay window under a steeply pitched gable and central front door can be seen looking south from the parking lot. The top of a chimney rises from the center of the block near the roofline. The side-gable roof is still visible, and the main entrance appears to be in the same place and sheltered by an eave extension, but the door is modern with a full-height window. The windows have been replaced with modern fixed panes, though a one-over-one double hung sash window can be seen in each of the gable peaks. The long rear dormer on the former house has been replaced with a full two-story addition that extends out from the southwest elevation of this block. A set of wooden stairs along the northern side of this addition lead up to a second-story rear entrance. Additionally, a small shed with three doors on the northeast elevation, vinyl siding, and asphalt roof is located next to this addition and appears to be a storage building.

The southern half of the former house’s façade is obscured by a large rectangular addition connected with a hyphen. This building has similar massing and a similarly pitched side-gable roof as the original structure. Its northwest (primary) façade features a shed dormer, almost full-height gable extension, and a recessed entrance sheltered by a small gable addition supported on a column on the southwest elevation where the hyphen is also located. The door here is similar to the commercial door on the original house section, but it has sidelights. The modern, fixed windows are arranged in singles, pairs, and triples, with a six-pane polygonal window in the front gable on the façade. The majority of the expanded structure is clad in modern vinyl shingle siding and horizontal siding on the two-story rear addition. The brick exterior walls of the original house can be seen on first floor on all sides, but the gable peaks have the modern shingle siding. The roof is clad in asphalt shingles with the exception of the bay window on the former house, which has a curved metal roof.

The second structure located just north of the first is connected on the northwest elevation of the former house by a small breezeway that allows access between the rear of the property and the parking lot. A shorter, gable-front block that appears to have been the garage documented in 1979 is integrated into the southeastern elevation of the modern structure. The northeastern façade of the front-gabled former garage has a three-sided roof extension over the entrance and a one-over-one window located right above this roof. A bay window has been added to the southeast elevation of the garage. The brick exterior walls can be seen on this façade and on the rear elevation, but the gable peaks and southeast elevation are all clad in the modern shingle siding. A wooden staircase along the rear leads up to a second-story entrance into the attached structure. The massing of the

larger structure to which the former garage is attached is wider than its counterparts, but it shares similar features. The northeast façade of the side-gable structure features two of the same shed dormers and a central front gable that provides a small porch area supported on columns over the modern entrance. It has the same commercial doors with full height windows, and the central door has a side light. A second entrance just north of the central porch area is recessed in a rectangular cover that provides some shelter for those entering. The rear of this block includes another entrance, though it is a solid paneled door.

A large parking lot dominates the area between the buildings and Wescoats Road. A driveway along the south side of the buildings leads from the parking lot to the rear of the building. The northern area of the property is open grass, and there is a strip of grass around the sides of the buildings.

Historic Context:

Hundred: Lewes and Rehoboth; *Quadrant:* Lewes; *Geographic Zone:* Coastal; *Time Period:* Suburbanization and Early Ex-Urbanization (1940-1960+/-); *Historic Period Themes:* Architecture, engineering, and decorative arts; Professional services.

History:

The main house may have been constructed here in the 1940s or early 1950s by Elwood and Etta Wescoat, who owned the property from 1940 to 1961. Records from a 1979 survey indicate that it was a Minimal Traditional structure, but today the complex is dominated by modern materials and features. The garage appears to be contemporary with the original construction as it appears to be present in 1954 aerial images. The modern additions that now obscure the original structure were built in 1998 according to permit records.¹⁹ The addition on the original house, which has greatly expanded the footprint of the building, along with the large structure built just north of this have significantly altered the layout of the property.

Evaluation:

This property is recommended as not eligible for listing in the NRHP. Previous and current research on the property has not revealed any association of the property with events that have made a significant contribution to the history of Delaware nor the settlement patterns of Lewes or surrounding communities. The property is also not related to any broader historical patterns of local, regional, or national importance. Similarly, the past and current property owners have not made a lasting contribution to local, regional, or national history. Therefore, the property is not eligible under Criteria A or B.

As described above, the original property was residential in nature when it was constructed, but it has been significantly expanded and updated for modern commercial purposes. It does not represent an exceptional example of any residential or commercial building type. The building

¹⁹ Sussex County Recorder of Deeds (various), Georgetown, DE. Delaware Division of Historical and Cultural Affairs, CHRIS. Sussex County, Delaware, "Property Records Search." <https://property.sussexcountype.gov/PT/forms/htmlframe.aspx?mode=content/home.htm>.

does not embody any distinctive characteristics of a style, period, or method of construction, is not the work of a master, and does not possess high artistic value. The property maintains its integrity of setting and location but has lost its integrity of association, feeling, design, workmanship, and materials due to the changes in use, modern materials, and large additions. Therefore, the property is not eligible under Criterion C.

The property is unlikely to provide new information that differs from what is already available through other sources as related to materials, design, and construction. Therefore, the property is not eligible under Criterion D.

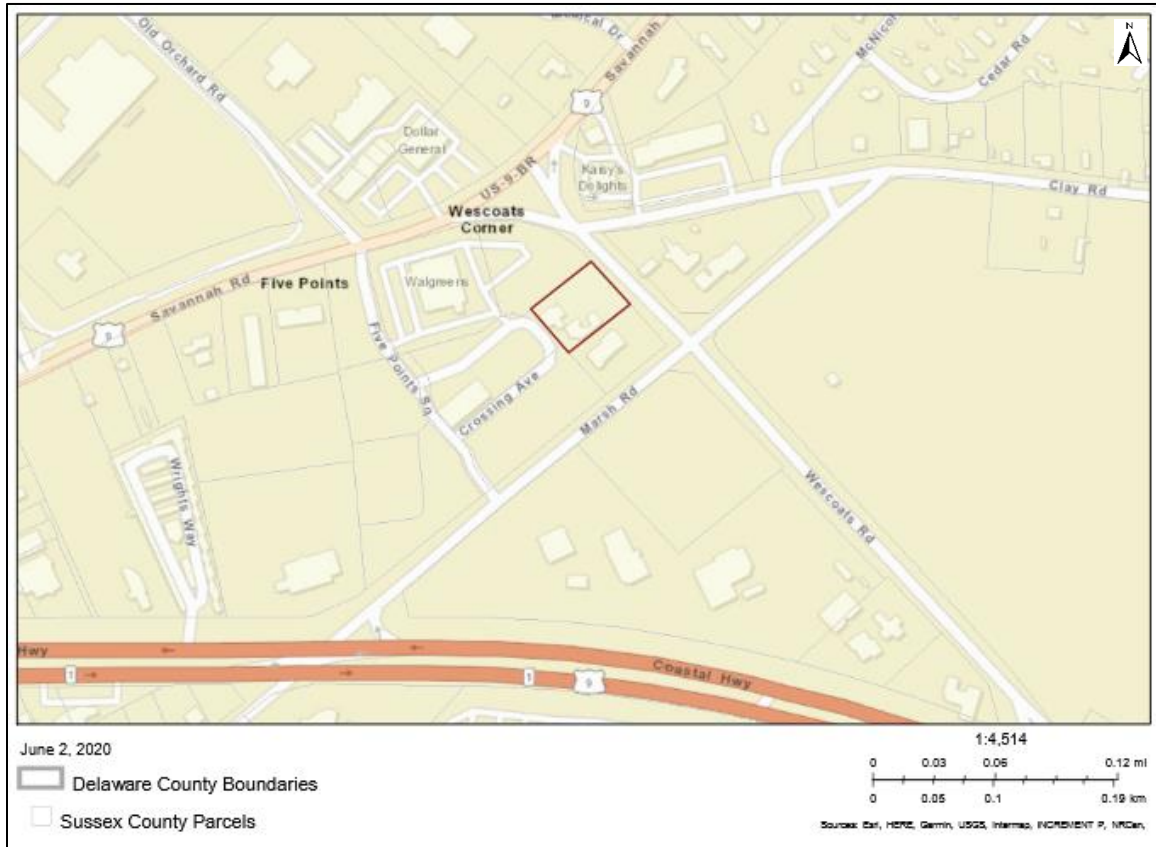


Figure 9: A map of the tax parcel on which the office complex is located.



Photo 1: A view of the property looking southwest from Wescoats Road.



Photo 2: A view of the property looking southeast.



Photo 3: A detail view of the northeastern façade of the modern structure built just north of the original house.



Photo 4: A detail view of the northeastern elevations of the structures, where the multiple office entrances and connecting breezeway can be seen.



Photo 5: A view of the original house (background) and the large addition on its façade (foreground).



Photo 6: A view of the southern elevation and driveway on the large addition to the original house.



Photo 7: A view of the rear elevation of the original house block.



Photo 8: A view of the rear elevation of the former garage and large modern building connected to it.



Photo 9: A view of the shed storage building and the three doors on the northeastern façade. The structure is located behind the rear addition of the original house.

Paradee Oil Company/Clean Delaware, Inc. (S00976)

33852 Clay Road
Lewes, DE 19958
Tax Parcel ID: 334-6.00-39.01
Geographic Coordinates: 38.751737, -75.158335

Description:

The Clean Delaware, Inc. (formerly Paradee Oil) property includes two buildings which date from the mid-1960s. The main structure fronting Clay Road is a rectangular block with a rear extension topped with a cross-gable and shed roof; the roof has modern asphalt shingles. The main entrance is on the east façade and there is a modern screen door blocking a view of the main door. The 1979 documentation notes that the Paradee Oil Company building featured wooden shingle walls; these walls have since been replaced with horizontal vinyl siding on the main block and vertical vinyl siding on the rear section. The windows are faux six-over-one double hung sash modern vinyl replacements in singles and pairs.

A storage building is located at the southeastern corner of the property and can be seen as early as 1968 in aerial images. The north elevation facing the roadway features a paneled entrance door and a faux six-over-six double hung sash window. Most likely the building has been used for storage or as a workspace throughout its life. The roof is topped with standing seam metal and the exterior walls are clad in vinyl siding.

Historic Context:

Hundred: Lewes and Rehoboth; *Quadrant:* Lewes; *Geographic Zone:* Coastal; *Time Period:* Suburbanization and Early Ex-Urbanization (1940-1960+/-); *Historic Period Themes:* Architecture, engineering, and decorative arts; Retailing/Wholesaling.

History:

For much of the twentieth century, this property, as well as over forty acres of land in the Wescoats Corner surrounding it, was owned by the Wilson family. Mathilde L. Wilson passed the land to John H. Wilson in 1928, and it was conferred to James P. Wilson in 1975. This parcel was sold to Paradee Oil Company in 1985, though a photo documentation of the area indicates that the company was present on this parcel at least by 1979. The larger parcel owned by James Wilson out of which this property is carved was in agricultural use throughout the twentieth century. It is unclear from deed records when exactly the first structures were built on this smaller piece, but aerial images date the construction of the Paradee buildings from between 1961 and 1968.²⁰

Evaluation:

The Clean Delaware, Inc. property is recommended as not eligible for listing in the National Register of Historic Places. Previous and current research has not revealed any association of the

²⁰ Sussex County Recorder of Deeds (various). Delaware Division of Historical and Cultural Affairs, *CHRIS*.

property with events that have made a significant contribution to the history of the state of Delaware nor the Lewes community. The property is not related to significant or exceptional commercial development patterns or any broader historical patterns of local, regional, or national importance. Similarly, based on limited research, none of the owners of the property have made a lasting contribution to local, regional, or national history. Therefore, the property is not eligible under Criteria A or B.

As described above, the building is a simple commercial structure that serves a utilitarian function as an office surrounded by a parking lot and equipment space. It does not represent an exceptional example of any particular building type. It is a common type designed with common proportions for post-World War II industrial or commercial buildings and constructed with typically used materials. The site maintains its integrity of location, association, design, feeling, and setting as it was a part of the economic development and modern construction efforts around Wescoats Corner in the latter half of the twentieth century. It has lost its integrity of workmanship and materials due to the material changes on the exterior. The building does not embody any distinctive characteristics of a style, period, or method of construction, is not the work of a master, and does not possess high artistic value. Therefore, the property is not eligible under Criterion C.

The property is unlikely to provide new information about construction that differs from what is already available through other sources as it was constructed with mass-produced materials and, likely, plans. Therefore, the property is not eligible under Criterion D.



Figure 10: A map of the tax parcel where S00976 is located.



Photo 10: A wide view of the property as seen looking east along Clay Road.



Photo 11: A detail view of the west and north elevations of the main office building.



Photo 12: A view of the north and east (primary) elevations showing the entrance to the office.



Photo 13: A view of the storage building located on the southeast corner of the property.

Eschenbach Property (S00979)

33805 Clay Road
Lewes, DE 19958
Tax Parcel #335-12.06-36.00
Geographic Coordinates: 38.752189, -75.160017

Description:

The main house on the Eschenbach property is a two-story circa 1900 construction that has been expanded and updated with modern materials throughout the twentieth century. The main block appears to be a side-gabled example of the Colonial Revival architectural style; this subtype is typically a two-story, simple rectangular block.²¹ The multiple additions have resulted in a loss of character-defining features such as the decorative front entryway that may have graced the house when it was built. The main block features regularly spaced one-over-one double hung sash windows, which are modern vinyl replacements. The entire house is clad in modern horizontal wavy vinyl siding, and asphalt shingles cover the roof. The main entrance has been relocated to the eastern elevation of the addition on the primary (south) façade, which is a one-story, concrete-block structure with a central six-over-six window with a fanlight and louvered vinyl shutters. This addition covers more than half of the original façade and is attached to the main block with a shed roof that extends around the corner of the house along the full length of the west elevation. The east elevation of the house includes a wooden staircase that allows access to the second story from the exterior via a modern vinyl paneled door. The rear of the house is difficult to see from the public right-of-way, but it also includes a one-story shed-roofed addition and a shed-roofed three-bay dormer on the roof of the main block. A small concrete block structure with a gable roof is located to the east of the house, and this may represent the entrance to a cellar or store house below ground.

“House A” is located close to the northeast corner of the main house and is a one-story, gable-roofed rectangular block that appears to be used as a small living space. The exterior materials are all modern replacements, including the vinyl siding, one-over-one windows, and asphalt shingle roof. The date of construction is unknown and is not recorded in deed records, but the building appears to date from the early twentieth century.

“House B” also appears to be present by 1954 on the property and is likely a 1940s construction.²² The small house has wooden shingles, modern six-over-six double hung sash windows, and an asphalt roof. The foundation, however, is modern concrete block, and it is unclear when this foundation was updated. The entrance appears to be facing north and set in a lean-to addition with vinyl siding on the west elevation. A small half-circle window in this elevation has been converted into a space for a small air conditioning unit.

The original block of “House C” appears to be contemporary with the farmhouse, circa 1910s, though it too has been significantly altered. The main block is a two-story barn that has been converted to a living space. Modern windows—one-over-one sashes and a large four-pane window

²¹ McAlester, 410.

²² Delaware Division of Historical and Cultural Affairs, *CHRIS*.

in the east elevation—and a modern entrance door have been added to the south and east elevations. A small flat-roofed porch supported by squared wooden columns shelters the front door on the south elevation. The block is topped with corrugated sheet metal roofing and wrapped in vinyl siding. A long circa 1960s rectangular addition on the west elevation has been attached to the main block with a L-shaped gable standing seam metal roof. The addition includes one-over-one vinyl windows, louvered shutters that appear to be the same as the ones on the main house addition, an entrance on the east elevation, and two large garage doors on the west elevation, one of which appears to have been converted to another entrance.

Historic Context:

Hundred: Lewes and Rehoboth; *Quadrant:* Lewes; *Geographic Zone:* Coastal; *Time Period:* Urbanization and Early Suburbanization (1880-1940+/-) & Suburbanization and Early Ex-Urbanization (1940-1960+/-); *Historic Period Themes:* Architecture, engineering, and decorative arts; Settlement Patterns and Demographic Changes.

History:

The exact dates of construction for the various structures on the property are elusive, and it is unclear if they were built by multiple landowners. Online deed records going back to 1957 record that an approximately twenty-six-acre parcel was purchased by Harry D. Robinson and Louise H. Robinson. The Robinsons sold the parcel in 1959 to Sam P. Eschenbach and Dorothy R. Eschenbach, who were the owners when the property was first surveyed in 1979. The property has passed through a handful of other owners since 1983.²³

Based on historic maps of the area and aerial images, the buildings currently extant on the property have been present for some time: a property belonging to “C.W. Prettyman” is indicated in this location on the 1868 Beers map of the Lewes and Rehoboth Hundred.²⁴ A structure is also indicated here on the 1918 Cape Henlopen USGS topographic map and the current house appears to be present in 1926 aerial images (see Figure 5).²⁵ A circa 1900 date of construction for the main house is consistent with the architectural style; the main block may be older but has been renovated over time and an exact date is difficult to pinpoint. The construction dates for the outbuildings are harder to discern based on early maps and photos, but the barn that makes up the main two-story block on “House C” may be contemporary with the house, as seen on the 1926 aerials. The one-story addition to the west elevation of the barn appears as early as the 1977 aerial images, though the exact date is not recorded in any property records that could be found.²⁶

The presence of trees and the image quality of early aerials make it difficult to discern how long “House A” and “House B” were present on the property prior to the 1979 survey, though they may both be present in the 1954 images. Based on the 1979 images and the architectural style, it is

²³ Sussex County Recorder of Deeds (various).

²⁴ Beers, 1868.

²⁵ United States Geological Survey, *Cape Henlopen*, 1:62,500, USGS Historical Topographic Map Explorer, 1918. <http://historicalmaps.arcgis.com/usgs/>. “1926 Orthoimagery.”

²⁶ “Aerial Photography,” Delaware Environmental Monitoring & Analysis Center. <http://demac.udel.edu/data/aerial-photography/#geoexplorer>.

likely that “House A” is from the mid-twentieth century, likely the 1940s or 1950s.²⁷ It has been extensively updated with modern materials—including windows, siding, and roofing. The date on “House B” is also difficult to discern; it too has been updated with a lean-to addition on the east elevation and a modern foundation. But the style and massing indicate a similar 1940s or 1950s construction date. Both these structures seem to function as additional or rental housing currently, though it is unclear if they have always served this purpose.

Evaluation:

The Eschenbach property is recommended as not eligible for listing on the NRHP. Previous and current research on the property has not revealed any association of the property with events that have made a significant contribution to the history of Delaware nor the settlement patterns of Lewes or surrounding communities. The property is also not related to any broader historical patterns of local, regional, or national importance. Similarly, the past and current property owners have not made a lasting contribution to local, regional, or national history. Therefore, the property is not eligible under Criteria A or B.

As described above, the main house is an example of early twentieth century Colonial Revival-style. Along with the barn part of “House C” and some of the mid-century outbuildings, the property was once an agricultural complex in a rural landscape. However, though the property does maintain its integrity of location, its integrity of feeling, setting, and association have been lost due to the conversion of the surrounding agricultural lands into commercial and residential uses. There are no remnants of the fields once associated with this property; the only agricultural area in Wescoats corner belongs to the Wilson property. The Eschenbach property has also lost its integrity of design, materials, and workmanship due to the multiple additions to the buildings that have changed their layout (main house) or use (“House C”), and the incorporation of modern materials to replace original siding, windows, doors and roofs on all the buildings. The property does not represent an exceptional example of or embody any distinctive characteristics of an architectural style, period, or method of construction, it is not the work of a master, and it does not possess high artistic value. Therefore, the property is not eligible under Criterion C.

The property is unlikely to provide new information that differs from what is already available through other sources as related to materials, design, and construction. Therefore, the property is not eligible under Criterion D.

²⁷ Delaware Division of Historical and Cultural Affairs, *CHRIS*.

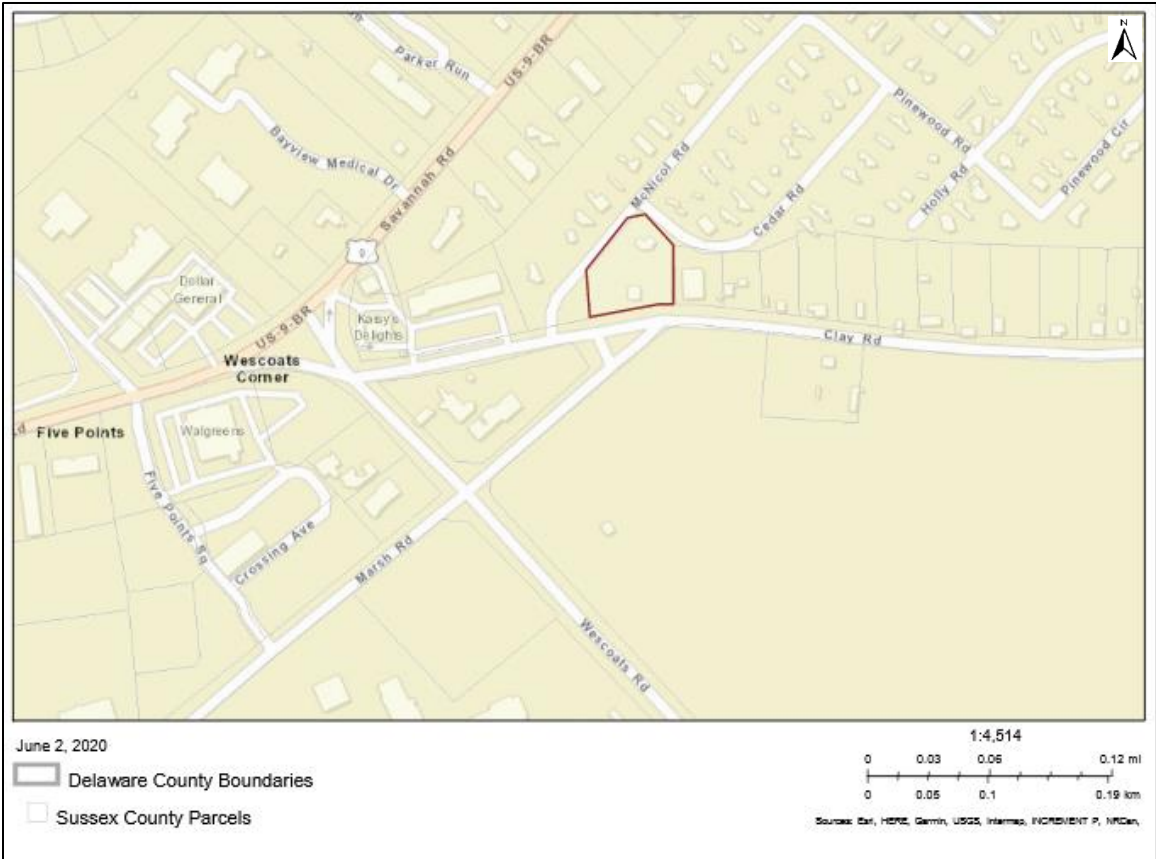


Figure 11: A map showing the Eschenbach property parcel.



Photo 14: A view of the primary (south) façade of the main house on the Eschenbach property.



Photo 15: A view of the west elevation of the main house, which shows the extent of the one-story addition.



Photo 16: A view of the south façade and east elevation, which shows the location of "House A" at the corner of the house.



Photo 17: A view of east elevation of the main house with the small concrete block structure that may be a cellar located in front of the wooden steps. A rear shed-roofed addition can be seen on the north elevation. The south elevation on House A can be seen in the right section of this image. In the center of the image the south and east elevations of House B can be seen in the background.



Photo 18: A view of the primary (east) façade of "House A." The shed-roofed dormer on the rear (north) elevation of the main house can be seen here.



Photo 19: A view of the south elevation of "House B."



Photo 20: A view of the east elevation of "House B," where the shed-roofed lean-to addition can be seen. The small garage on the property can also be seen to the right.



Photo 21: A wide view of the primary (south) façade of "House C" and the garage, which is located between this structure and "House B."



Photo 22: A view of the west elevation of "House C" and the two garage doors on this elevation.



Photo 23: A detail view of the south and east elevations of "House C."

Dwelling (S13327)

33837 Clay Road
Lewes, DE 19958
Tax Parcel #335-12.06-55.00
Geographic Coordinates: 38.752118, -75.158758

Description:

The main house on this property is a one-and-a-half story, gable-roofed circa 1950 Minimal Traditional single-family residence. The primary (south) façade is characterized by flared eaves that create a porch area supported on squared columns with a squared balustrade across the front of the house to shelter the front door and provide outdoor seating. A gable-roofed extension that meets the outer edge of the front porch provides additional interior space. The house is wrapped in vinyl siding, features one-over-one modern vinyl windows, is topped with asphalt shingles, and rests on a concrete foundation. A concrete block chimney rises over the roofline on the exterior of the east elevation. The land around the house is a largely cleared lawn, and a few shrubs are nestled against the visible elevations that obscure much of the foundation. A gravel driveway from Clay Road leads to a one-car detached garage.

The detached garage is of a typical design seen in architectural books and advertisements from the early twentieth century. Its simple rectangular design is accented only by extended rafters along the overhanging eaves, which may have served a more functional purpose to creating a more secure hold for nailing the rafters to the roof plate rather than an architectural design purpose.²⁸ The original door or doors have been replaced with a modern vinyl sliding garage door, which is accented with a wide wooden surround and entablature.

Historic Context:

Hundred: Lewes and Rehoboth; *Quadrant:* Lewes; *Geographic Zone:* Coastal; *Time Period:* Suburbanization and Early Ex-Urbanization (1940-1960+/-); *Historic Period Themes:* Architecture, engineering, and decorative arts; Settlement patterns and demographic changes.

History:

The 1868 Beers map of Delaware and Lewes and Rehoboth Hundred shows a property belonging to “E. Dodge” near this location.²⁹ However, the current structure on this parcel is a later construction. According to aerial images, the house was constructed on this property sometime between 1937 and 1954, and the current house and garage are contemporary with post-World War II structures. The house was likely constructed by Marian C. and Madison G. Ward, who purchased the parcel from Colin and Louise M. McNicol in 1951.³⁰ This was not the only parcel created out

²⁸ Southern Pine Association, *Southern Pine Garages and How to Build Them*, New Orleans, LA: Southern Pine Association, 1926. 6.

<https://archive.org/details/SouthernPineAssociationSouthernPineGaragesandhowto0001/mode/2up>.

²⁹ Beers, 1868.

³⁰ Sussex County Recorder of Deeds (various).

of a larger lot owned by the McNicols in the early 1950s, and several houses appear along this stretch of Clay Road in the 1954 aerial images.³¹

Evaluation:

This property is recommended as not eligible for listing on the NRHP. Previous and current research on the property has not revealed any association of the property with events that have made a significant contribution to the history of Delaware nor the settlement patterns of Lewes or surrounding communities. The property is also not related to any broader historical patterns of local, regional, or national importance. Similarly, the past and current property owners have not made a lasting contribution to local, regional, or national history. Therefore, the property is not eligible under Criteria A or B.

As described above, the building is an example of a mid-century Minimal Traditional single-family residence. Despite the loss of integrity of materials and workmanship due to modern updates on the exterior, the dwelling does maintain its integrity of location, association, design, and feeling. It also maintains its integrity of setting as it was a part of the early development of the area in the mid-twentieth century. However, the property does not represent an exceptional example of this architectural style, is not the work of a master, and does not possess high artistic value. Therefore, the property is not eligible under Criterion C.

The property is unlikely to provide new information that differs from what is already available through other sources as related to materials, design, and construction. Therefore, the property is not eligible under Criterion D.

³¹ Delaware Division of Historical and Cultural Affairs, *CHRIS*.

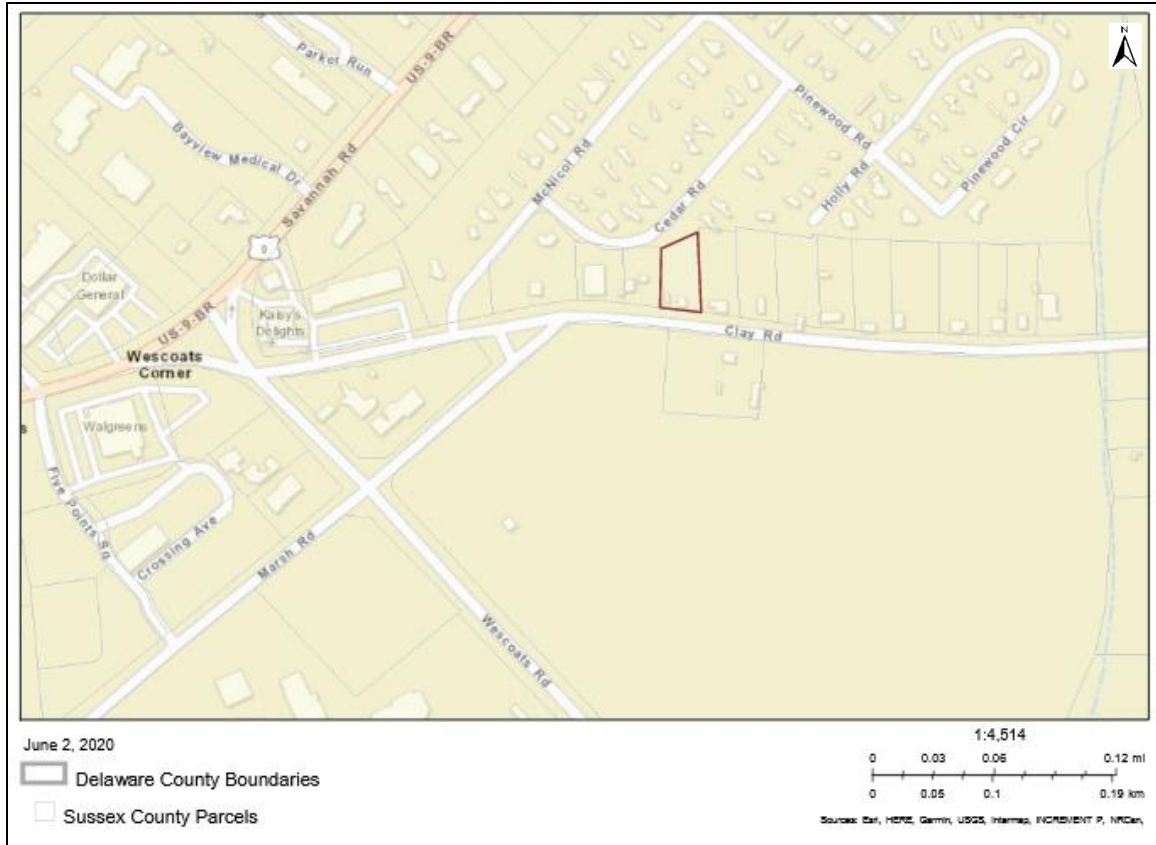


Figure 12: A map of the tax parcel where S13327 is located.



Photo 24: A wide view of the property looking northeast from Clay Road. This view also shows the west elevation of the detached garage.



Photo 25: A view of the primary (south) façades of the main house and garage.



Photo 26: A view of the east elevation and south façade of the main house.



Photo 27: A view showing the east elevation of the garage.

Dwelling (S13308)

33823 Clay Road
Lewes, DE 19958
Tax Parcel #335-12.06-54.00
Geographic Coordinates: 38.752149, -75.159166

Description:

This one-story, eaves-front circa 1950 Minimal Traditional single-family residence is covered in stucco or parging and features awnings (likely aluminum) over all the visible windows. Awnings were common in the post-war period on these types of houses and these may be original to the building. The main entrance is tucked into a corner of the primary (south) façade and is sheltered within a small portico by a portion of the eaves covering a recessed section of the façade; this area is difficult to see due to overgrown vegetation on the west elevation. The windows are one-over-one double hung sashes, and a picture window accents the primary façade. The house also features an exterior chimney on the east elevation and asphalt shingles on the gable roof. Much of the house, including the west and east elevations, is obscured by vegetation, cars, and campers.

There are several outbuildings on the property, most of which are also difficult to see clearly. The detached garage at the northeast corner of the house appears from the late 1950s or early 1960s according to aerial images, but the other structures are modern.³² However, none of these could be observed clearly enough to be documented with CRS forms.

Historic Context:

Hundred: Lewes and Rehoboth; *Quadrant:* Lewes; *Geographic Zone:* Coastal; *Time Period:* Suburbanization and Early Ex-Urbanization (1940-1960+/-); *Historic Period Themes:* Architecture, engineering, and decorative arts; Settlement patterns and demographic changes.

History:

According to aerial images, the house was constructed on this property sometime between 1937 and 1954, and the design of the current house and garage are contemporary with post-World War II structures.³³ The house was may have been constructed by Richard O. Magee and Frances L. Magee after they purchased the property from Colin and Louise M. McNicol in 1953, though they only owned the parcel for two years.³⁴ The property is labeled as Phillips Marine Services on Google Maps, and there appears to be a home business here though the property is still in residential use.

³² Delaware Division of Historical and Cultural Affairs, *CHRIS*.

³³ *Ibid*.

³⁴ Sussex County Recorder of Deeds (various).

Evaluation:

This property is recommended as not eligible for listing on the NRHP. Previous and current research on the property has not revealed any association of the property with events that have made a significant contribution to the history of Delaware nor the settlement patterns of Lewes or surrounding communities. The property is also not related to any broader historical patterns of local, regional, or national importance. Similarly, the past and current property owners have not made a lasting contribution to local, regional, or national history. Therefore, the property is not eligible under Criteria A or B.

As described above, the building is an example of a mid-century Minimal Traditional single-family residence. The dwelling does maintain its integrity of location, association, setting, design, feeling, materials, and workmanship. However, the property does not represent an exceptional example of this architectural style, is not the work of a master, and does not possess high artistic value. Therefore, the property is not eligible under Criterion C.

The property is unlikely to provide new information that differs from what is already available through other sources as related to materials, design, and construction. Therefore, the property is not eligible under Criterion D.

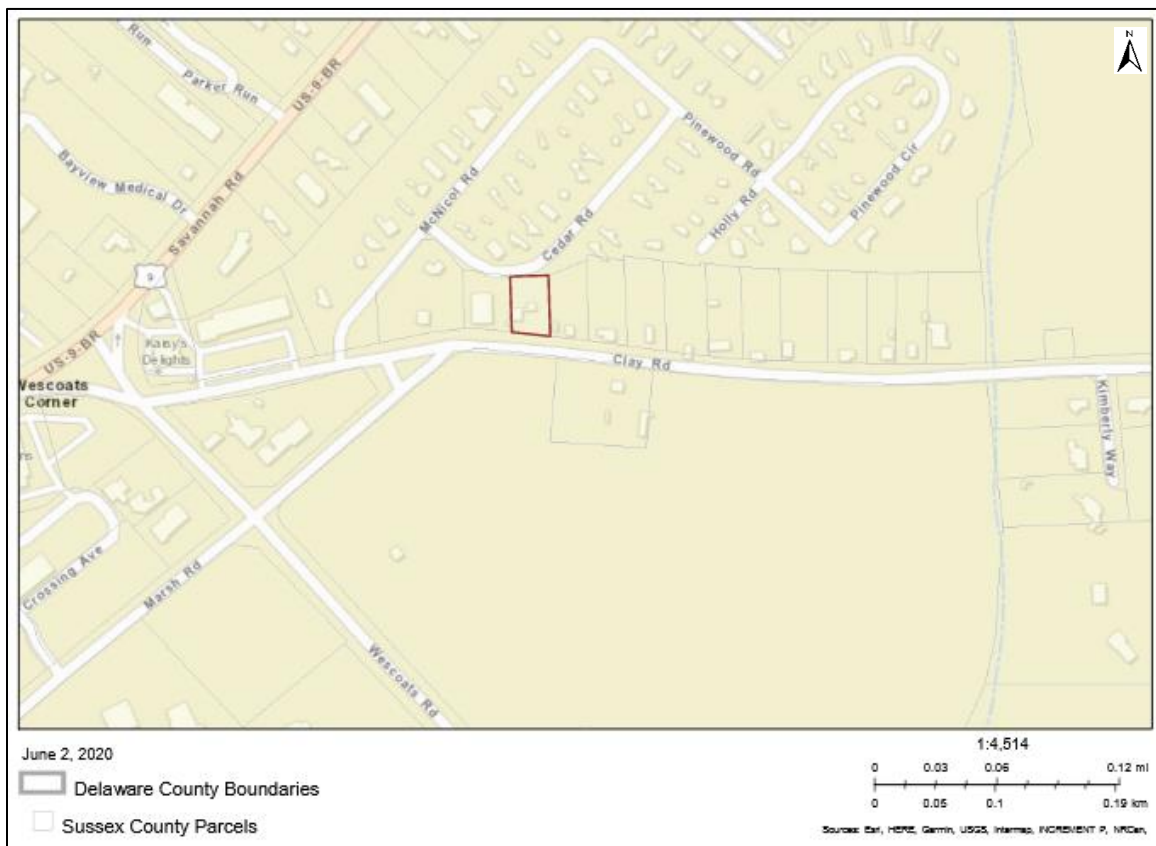


Figure 13: A map of the tax parcel for S13308.



Photo 28: A view of the primary (south) façade of the main house.



Photo 29: A view of the property looking northwest from Clay Road.



Photo 30: A view of the west elevation of the house. Much of this is obscured by vegetation and the wooden fence.

Commercial Complex (S13306)

33711 Wescoats Road
Lewes, DE 19958
Tax Parcel #334-6.00-28.00
Geographic Coordinates: 38.751439, -75.161962

Description:

This property consists of two large commercial structures. The older building, which is located on the northern part of the property, is made up of two main blocks, one of which is home to Full Belly Bistro and the other of which is occupied by C.J.'s Beach Bays. The Full Belly Bistro section is a one-story circa 1950 flat-roofed commercial building. As seen beginning in 1954 aerial images (see Figure 8), the block is rectangular with a central rear extension. It has been updated with modern exterior materials, including vertical siding, a large bay window on the southwestern primary façade, and one-over-one and fixed windows on the façade and side elevations. A tall, flat roof supported on squared metal columns that used to shelter gas pumps is situated perpendicular to the southwest corner of the main block.

The building has been expanded on the northeast corner with a large two-story rectangular frame structure that is set back from the plane of the façade of the older block. The addition that houses C.J.'s Beach Bays has a low-pitched, metal gable roof and two large garage doors to accommodate the services it provides on the façade. There is a wooden staircase in the corner of the intersection of the new and old blocks leading up to a second story in this new block, where eight-over-eight windows tucked under the overhanging eaves may indicate an office area for the business below. Both the older and new sections of this entire structure is clad in vertical board and batten style siding and features one-over-one double hung sash windows and glass commercial doors. Much of the rear of the building is obscured by a fence, trees, and multiple vehicles, but a concrete block wall can be seen on the rear of the Full Belly Bistro. Four garage doors are located in the rear elevation of the addition.

The second building on the property is home to Toddy's Auto Sales, Groomingdale's, and Solid Ground Church. It is a long commercial building made up of three large almost-square blocks, the central one being the oldest (circa 1996). The two rear structures have shallowly pitched cross-gable roofs, but all three roofs are sheathed in metal roofing and all appear to have concrete foundations. The southwestern elevation of the front, side-gabled section facing Wescoats Road serves as the primary entrance for Toddy's Auto Sales and the façade for the building. It features two large sliding garage doors, a central glass entrance door, and a set of three, fixed pane large commercial windows, with a set of three smaller panes set high in the façade just above these. The three blocks of the structure are clearly visible when looking toward the southeastern elevation from Marsh Road. The Toddy's Auto Sales section features eight-over-eight double hung windows, one of which is sheltered by an awning, and another set of three fixed windows. The siding on Toddy's Auto Sales appears to be painted parging.

The middle block is home to Groomingdale's dog daycare and features a large glass entrance on the corner of the building connected to the auto shop. This typical commercial entrance is sheltered

by a large rounded awning supported on columns and approached by a gently sloped ramp from the parking lot that stretched along this side of the building. This section also features narrow, one-over-one double hung sash windows. The rearmost section of the building is home to Solid Ground Church. Its southwestern façade features three evenly spaced commercial glass doors with five-pane window surrounds, and the southernmost door has a triangular awning sheltering it. These two rear blocks have vertical metal siding, and the roof of the church has one extended eave that allows the building to extend beyond the plane of the central block.

The entire property is surrounded by a paved parking lot. On the northern edge of the property are two small modern sheds, with typical vinyl siding and asphalt roofs of kit structures. The oldest is smaller with a gambrel roof, and it has a wide double door opening on the southwest elevation. The most recent one is a gable-front rectangular block that is longer than the other shed; details of this structure could not be discerned due to overgrowth on the fencing lining the north side of the property and a number of cars parked behind the main building.

Historic Context:

Hundred: Lewes and Rehoboth; *Quadrant:* Lewes; *Geographic Zone:* Coastal; *Time Period:* Suburbanization and Early Ex-Urbanization (1940-1960+/-); *Historic Period Themes:* Architecture, engineering, and decorative arts; Retailing/Wholesaling; Professional services.

History:

Like its neighbor across the street at 33712 Wescoats Road, this structure has undergone extensive renovations and additions since the 1980s. Deed records do not provide a clear picture of the history of ownership, so it is unclear when or by whom the initial Full Belly Bistro structure was built. However, also like its neighbor at 33712 Wescoats Road, aerial images and USGS topographic maps records a structure here by 1954. Permit records show numerous remodels in the 1980s and 1990s, the addition of a service station in 1987 and a gas station in 1990, and various other changes to the buildings on this parcel and the adjoining parcel to the southeast; these two parcels were combined in 2000. The building on this southeastern lot, Toddy's Auto Sales, was first constructed circa 1996, according to permit records. A rear addition that was taller and larger than the original block was constructed circa 2003-2004, and the "detail shop/office" that now serves at the main façade and entrance was added in 2011. The gambrel-roofed shed on the north part of the property may be the structure that first appears in 2002 aerials; it appears to have been moved slightly north by 2007. The gable-front shed next to it first appears in 2012 aerials.³⁵

Evaluation:

This property is recommended as not eligible for listing in the NRHP. Previous and current research on the property has not revealed any association of the property with events that have made a significant contribution to the religious or secular history of Delaware nor the settlement patterns of Lewes or surrounding communities. The property is also not related to any broader historical patterns of local, regional, or national importance. Similarly, the past and current

³⁵ "Property Records Search." Delaware Division of Historical and Cultural Affairs, *CHRIS*. United States Geological Survey, *Lewes*, 1954. "Property Records Search."

property owners have not made a lasting contribution to local, regional, or national history, nor have they included individuals or groups who have been influential in a religious institution or movement. Therefore, the property is not eligible under Criteria A or B.

As described above, the property has been significantly expanded and updated to meet various commercial needs over the years. It does not represent an exceptional example of a commercial building type. The buildings do not embody any distinctive characteristics of a style, period, or method of construction, are not the work of a master, and do not possess high artistic value. Instead, they are of a common type constructed with typically used materials and proportions for post-World War II and late-twentieth century industrial or commercial buildings. The property maintains its integrity of setting, location, and association as a commercial property, but it has lost its integrity of feeling, design, workmanship, and materials due to the use of modern replacement materials and large additions over the years. Therefore, the property is not eligible under Criterion C.

The property is unlikely to provide new information about construction types that differ from what is already available through other sources as it was constructed with mass-produced materials and, likely, plans. Therefore, the property is not eligible under Criterion D.

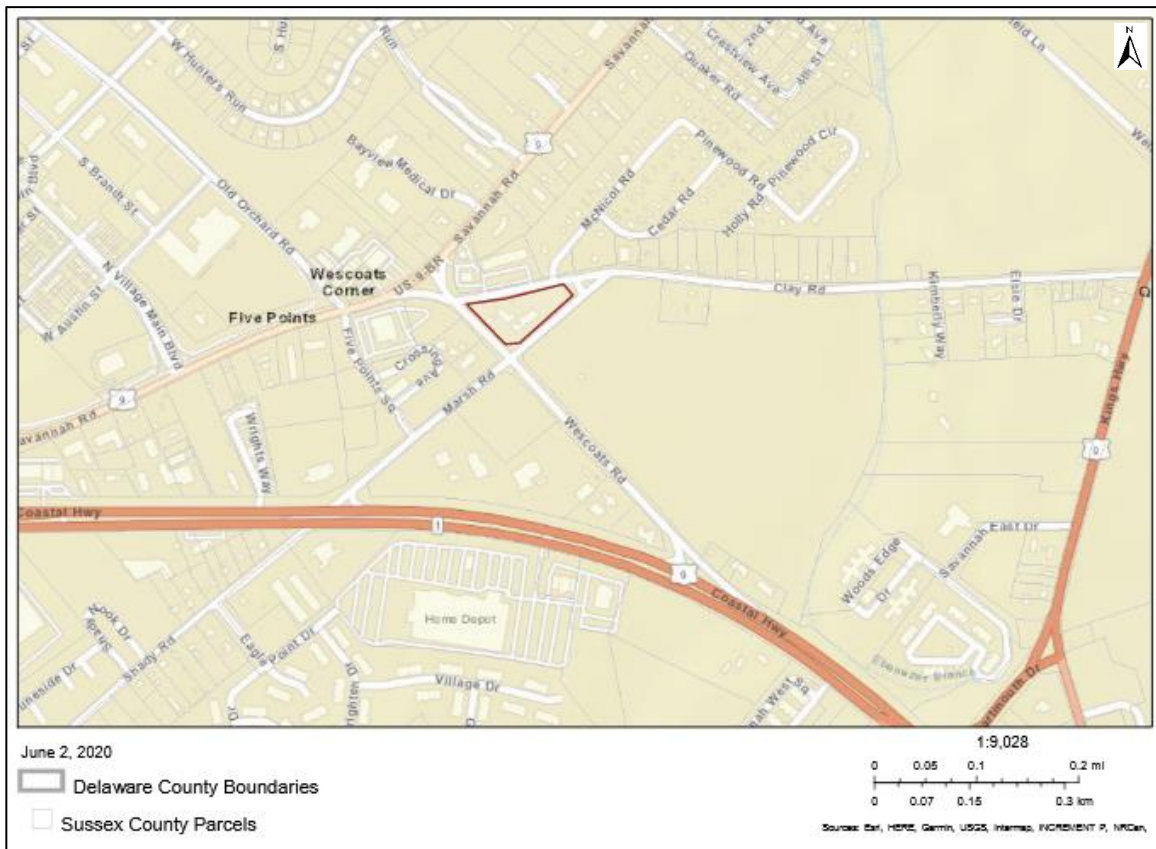


Figure 14: A map of the tax parcel where Full Belly Bistro, C.J.'S Beach Bays, and Toddy's Auto Sales are located.



Photo 31: A view of the primary façade of the property looking north from Wescoats Road.



Photo 32: A view of the property looking east from Wescoats Road. The façade newer structure on the property, Toddy's Auto Sales, can also be see in the background on the right.



Photo 33: A view of the west elevation of the Full Belly Bistro section of the property.



Photo 34: A view of the east elevation (rear) of the building.



Photo 35: A wider view of the rear of C.J.'s Beach Bays.



Figure 15: A view from Google's October 2019 streetview of the Toddy's Auto Sale building from the corner of Wescoats Road and Marsh Road.

Dwelling (S11307)

1543 Savannah Road
Lewes, DE 19958
Tax Parcel #335-12.05-6.01
Geographic Coordinates: 38.752725, -75.162897

Description:

This one-and-a-half story Minimal Traditional house was constructed circa 1950 when the western side of Savannah Road north of Wescoats Corner was being developed. The house is clad in wooden shingles and is characterized by white, modern, six-over-six double hung sash windows that stand out from the surrounding green trim. A shed roof addition encloses a porch on the east elevation, and three pairs of sliding glass doors open on to wrap-around steps leading to the front yard. One brick chimney is located on the exterior of the west elevation, and a second one can be seen rising up from the north elevation above the roofline. A garage addition on the northwest corner of the original house stands taller than the house itself and greatly expands the interior space. The house rests on a concrete foundation with brick steps up to the enclosed portico on the south elevation. Many of the materials, including the windows, siding, asphalt shingles, and the vinyl entrance doors, are modern replacements.

Historic Context:

Hundred: Lewes and Rehoboth; *Quadrant:* Lewes; *Geographic Zone:* Coastal; *Time Period:* Suburbanization and Early Ex-Urbanization (1940-1960+/-); *Historic Period Themes:* Architecture, engineering, and decorative arts; Settlement patterns and demographic changes.

History:

Like many of the surrounding houses on this stretch of Savannah Road, the house was originally constructed between 1937 and 1954, according to aerial images and topographic maps.³⁶ This dwelling is another example of one that has been expanded and altered beyond the point where the original extent and features of the building can be discerned. Permit records record several instances of additional construction on the main block: an enlarged porch in 1986; additions in 1989 and 1996; and a new attached garage in 2001.³⁷ Frank and Edna Holson owned the property from 1945 to 1964 and were likely the ones to construct the original house.³⁸

Evaluation:

This property is recommended as not eligible for listing in the NRHP. Previous and current research on the property has not revealed any association of the property with events that have made a significant contribution to the history of Delaware nor the settlement patterns of Lewes or surrounding communities. The property is also not related to any broader historical patterns of

³⁶ United States Geological Survey, *Lewes*, 1954. Delaware Division of Historical and Cultural Affairs, *CHRIS*.

³⁷ "Property Records Search."

³⁸ Sussex County Recorder of Deeds (Various).

local, regional, or national importance. Similarly, the past and current property owners have not made a lasting contribution to local, regional, or national history. Therefore, the property is not eligible under Criteria A or B.

As described above, the building is an example of a mid-century Minimal Traditional single-family residence. Despite the loss of integrity of materials, design, and workmanship due to modern updates on the exterior and the multiple additions, the dwelling does maintain its integrity of setting, location, association, and feeling. However, the property does not represent an exceptional example of its architectural style, is not the work of a master, and does not possess high artistic value. Therefore, the property is not eligible under Criterion C.

The property is unlikely to provide new information that differs from what is already available through other sources as related to materials, design, and construction. Therefore, the property is not eligible under Criterion D.

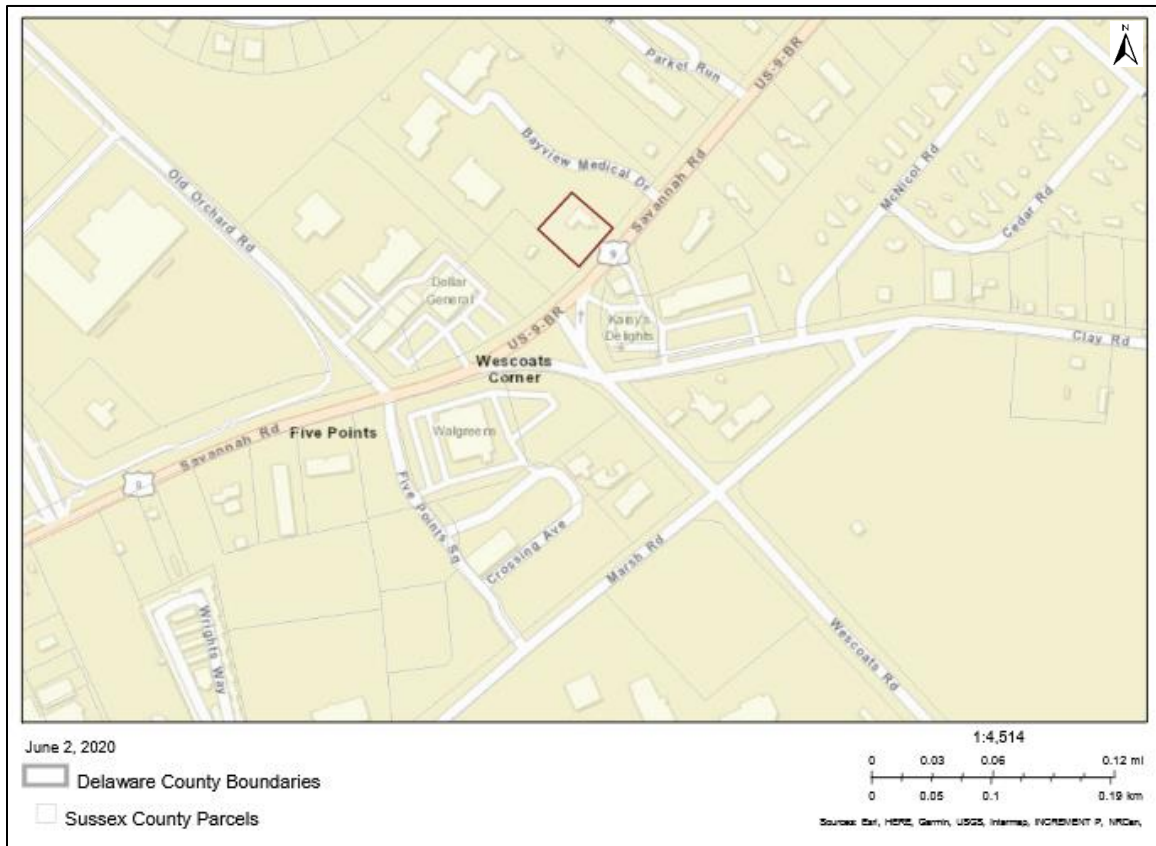


Figure 16: A map of the tax parcel where S11307 is located.



Photo 36: A view of the primary (east) façade of the property from across Savannah Road.



Photo 37: A detail view of the primary façade with its enclosed porch and the north elevation.



Photo 38: A wider view of the property showing the south elevation and garage.

Summary and Recommendations

Based on the context outlined previously, none of the seven evaluated properties within the APE meet the criteria for historical significance at the local, state, or national level; therefore, they are recommended as not eligible for the NRHP. The collection of properties also does not constitute a historic district as there is little cohesion in terms of architectural style and property history that would justify a cohesive historic context for a historic district. The results of this survey and evaluation are summarized in the table below.

Table 1: Eligibility determinations for properties within the APE.

CRS #	Property Name & Address/Location	Style and Information	Previous Eligibility Determination	Current Eligibility Determination
Previously Identified Properties				
S00218	Shankland Rhodes House Wescoats Rd. (Rd. 268A) and Lewes Georgetown Hwy. (Route 9), S. corner. Lewes, DE 19958 Tax Parcel #334-6.00-26.02 Parcel Size: N/A	N/A	N/A	Ineligible due to demolition
S00973	Commercial Complex 33712 Wescoats Rd. Lewes, DE 19958 Tax Parcel #334-6.00-27.01 Parcel Size: ~0.69 acres	c. 1950, Dominated by modern commercial additions	Undetermined	Ineligible
S00975	James Wilson House 33761 Wescoats Rd. Lewes, DE 19958 Tax Parcel #334-6.00-39.00 Parcel Size: N/A	N/A	Undetermined	Ineligible due to demolition of main house
S00976	Paradee Oil Company/Clean Delaware, Inc. 33852 Clay Rd. Lewes, DE 19958 Tax Parcel #334-6.00-39.01 Parcel Size: 1.14 acres	1960s, Mid-20 th Century Commercial	Undetermined	Ineligible
S00979	Eschenbach Property 33805 Clay Rd. Lewes, DE 19958 Tax Parcel #335-12.06-36.00 Parcel Size: ~1.02 acres	c. 1900, Colonial Revival	Undetermined	Ineligible
S01023	Dwelling 33688 Marsh Rd. Lewes, DE 19958 Tax Parcel #334-6.00-24.00 Parcel Size: N/A	N/A	Undetermined	Ineligible due to demolition

S01024	Manlove Automotive Service, Inc. Route 9 Lewes, DE 19958 Tax Parcel #334-6.00-24.00 Parcel Size: N/A	N/A	Undetermined	Ineligible due to demolition
S01025	Merlo Trust Savannah Rd. (Route 9B) Lewes, DE 19958 Tax Parcel #334-6.00-26.02 Parcel Size: N/A	N/A	Undetermined	Ineligible due to demolition
S01026	Eastern Shore Auto Exchange Route 18 Lewes, DE 19958 Tax Parcel #335-12.05-10.00 Parcel Size: N/A	N/A	Undetermined	Ineligible due to demolition
S01029	Long House Route 9 Lewes, DE 19958 Tax Parcel #334-12.05-5.00 Parcel Size: N/A	N/A	Undetermined	Ineligible due to demolition
Newly Identified Properties				
S11307	Dwelling 1543 Savannah Rd. Lewes, DE 19958 Tax Parcel #335-12.05-6.01 Parcel Size: ~0.45 acres	c. 1950, Minimal Traditional	N/A	Ineligible
S13306	Commercial Complex 33711 Wescoats Rd. Lewes, DE 19958 Tax Parcel #334-6.00-28.00 Parcel Size: 1.96 acres	c. 1950, Mid-century commercial	N/A	Ineligible
S13308	Dwelling 33823 Clay Rd. Lewes, DE 19958 Tax Parcel #335-12.06-54.00 Parcel Size: ~0.34 acres	c. 1950, Minimal Traditional	N/A	Ineligible
S13327	Dwelling 33837 Clay Rd. Lewes, DE 19958 Tax Parcel #335-12.06-55.00 Parcel Size: ~0.41 acres	c. 1950, Minimal Traditional	N/A	Ineligible

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Appendix A: Cultural Resource Survey Forms



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
SURVEY UPDATE FORM

CRS # S00973

1. HISTORIC NAME/FUNCTION: Jump House/Commercial Complex

2. ADDRESS/LOCATION: 33712 Wescoats Rd., Lewes, DE 19958

3. CURRENT CONDITION: excellent good fair poor demolished

4. INTEGRITY: The original property has lost its integrity of materials, design, workmanship, feeling, and association as it has been converted from a residential structure to a commercial complex. It has multiple large additions and almost all of the exterior materials have been replaced.

5. SETTING INTEGRITY: The setting has been developed heavily with new commercial and residential structures.

6. FORMS ADDED (give number of forms completed for each):

#:	Form:	List property types:
2	CRS 2 Main Building Form	Original house block; Office Building
	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
1	CRS 9 Map Form	N/A
	CRS 13 Photographs Form	N/A
	CRS 14 Proposed District Form	
	CRS 15 Structure (Bridge) Form	

7. SURVEYOR INFORMATION:

Surveyor name: Maureen McCoy

Principal Investigator name: Maureen McCoy

Principal Investigator signature: Maureen R McCoy

Organization: Delaware Department of Transportation Date: 07/16/2020

8. OTHER NOTES OR OBSERVATIONS:

CRS# S00973

The modern addition on the original house and the large modern structure built just north of the house were added to the property in 1998. The same has been done to the detached garage. The property is now a commercial complex.

9. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes; refer to state management plan(s)):

a) Time period(s)

- Pre-European Contact
- Paleo-Indian
- Archaic
- Woodland I
- Woodland II

- 1600-1750± Contact Period (Native American)
- 1630-1730± Exploration and Frontier Settlement
- 1730-1770± Intensified and Durable Occupation
- 1770-1830± Early Industrialization
- 1830-1880± Industrialization and Early Urbanization
- 1880-1940± Urbanization and Early Suburbanization
- 1940-1960± Suburbanization and Early Ex-urbanization

b) Geographical zone

- Piedmont
- Upper Peninsula
- Lower Peninsula/Cypress Swamp
- Coastal
- Urban (City of Wilmington)

c) Historic period theme(s)

- | | |
|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Transportation and Communication |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Settlement Patterns and Demographic Changes |
| <input type="checkbox"/> Trapping/Hunting | <input checked="" type="checkbox"/> Architecture, Engineering and Decorative Arts |
| <input type="checkbox"/> Mining/Quarrying | <input type="checkbox"/> Government |
| <input type="checkbox"/> Fishing/Oystering | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Manufacturing | <input type="checkbox"/> Education |
| <input type="checkbox"/> Retailing/Wholesaling | <input type="checkbox"/> Community Organizations |
| <input type="checkbox"/> Finance | <input type="checkbox"/> Occupational Organizations |
| <input checked="" type="checkbox"/> Professional Services | <input type="checkbox"/> Major Families, Individuals and Events |



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # S00973

1. ADDRESS/LOCATION: 33712 Wescoats Road, Lewes, DE 19958

2. FUNCTION(S): historic Residential current Commercial

3. YEAR BUILT: 1950s CIRCA?: ARCHITECT/BUILDER: N/A

4. STYLE OR FLOOR PLAN: Originally Minimal Traditional; converted to commercial use

5. INTEGRITY: original site moved

if moved, from where other location's CRS # year

list major alterations and additions with years (if known) year

a. Rear addition 1998

b. Front addition 1998

6. CURRENT CONDITION: excellent good fair poor

7. DESCRIPTION: (Describe the resource as completely as possible. Use N/A for not applicable; leave no blanks.)

a. Overall shape: rectangular Stories: 2
Additions: The two large additions extend the original house block significantly. The rear addition replaced the rear dormer, and the front addition is connected to the southern third of the house's façade by a hyphen and is a similarly massed structure to the house.

b. Structural system (if known): frame

c. Foundation: materials: concrete block on additions
basement: full partial not visible no basement

d. Exterior walls (original if visible & any subsequent coverings): vinyl shingle siding; common bond brick; horizontal vinyl siding on the rear addition

e. Roof: shape: L-shaped side-gables
materials: asphalt shingles; metal roof on the bay window
cornice: N/A
dormers: one shed dormer on the front addition
chimney: location(s): A chimney rise out of the center of the former house almost at the top of the roofline.

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: NE
1) Bays 3
2) Windows
fenestration irregular
type fixed pane; bay window
trim flat
shutters N/A

Facade (cont'd)

- 3) **Door(s)**
 location central in the original house block; under
 type commercial doors with almost full-height glass windows
 trim wide
- 4) **Porch(es)** Small roof extension shelters front entrance vestibule that projects from the plane of the main house.

b. Side: Direction: NW

- 1) **Bays** 6
- 2) **Windows**
 fenestration irregular
 type single and multi-pane fixed, including one polygonal window in a front gable peak on addition; 1/1 double hung sash in gable peak of original house
 trim flat
 shutters N/A
- 3) **Door(s)**
 location sheltered by a gable addition that extends into a hyphen that connects the new structure to the original house
 type commercial metal door with almost full-height glass window and sidelight
 trim flat
- 4) **Porch(es)** Extended eaves are supported on a column, creating a small porch area in front of the door.

c. Side: Direction: SE

- 1) **Bays** 6
- 2) **Windows**
 fenestration irregular
 type fixed; 1/1 double hung sash in gable peak of original house block
 trim flat
 shutters N/A
- 3) **Door(s)**
 location off-center in the addition
 type paneled with two small pane windows
 trim flat
- 4) **Porch(es)** N/A

d. Rear: Direction: SW

- 1) **Bays** 4
- 2) **Windows**
 fenestration regular
 type single and paired fixed
 trim flat
 shutters N/A
- 3) **Door(s)**
 location central in rear addition; second-story entrance at the top of the wooden steps along the northwestern side of the rear addition
 type paneled door
 trim flat
- 4) **Porch(es)** N/A

9. INTERIOR: Unknown

10. **LANDSCAPING:** The area in front of the façade facing Wescoats Road is paved for parking, with a driveway leading along the east elevation and to the rear of the structure. The rest of the building is surrounded by small sections of grass and a large open field is located to the west of the building.



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # S00973

1. ADDRESS/LOCATION: 33712 Wescoats Road, Lewes, DE 19958

2. FUNCTION(S): historic Garage current Commercial

3. YEAR BUILT: 1950s CIRCA?: ARCHITECT/BUILDER: N/A

4. STYLE OR FLOOR PLAN: Commercial

5. INTEGRITY: original site moved

if moved, from where other location's CRS # year

list major alterations and additions with years (if known) year

a. Large building added to northwest side of garage 1998

b.

6. CURRENT CONDITION: excellent good fair poor

7. DESCRIPTION: (Describe the resource as completely as possible. Use N/A for not applicable; leave no blanks.)

a. Overall shape: rectangular Stories: 2
Additions: The former garage has been incorporated into a new commercial structure.

b Structural system (if known): frame

c. Foundation: materials: concrete block
basement: full partial not visible no basement

d. Exterior walls (original if visible & any subsequent coverings): vinyl shingle siding; common bond brick; horizontal vinyl siding on the rear elevation

e. Roof: shape: front gable on the former garage; side gable on the addition
materials: asphalt shingles
cornice: N/A
dormers: two she dormers on the large addition
chimney: location(s): N/A

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: NE
1) Bays 5
2) Windows
fenestration regular
type fixed pane
trim flat
shutters N/A

Facade (cont'd)

- 3) **Door(s)**
 location one in the center of the former garage; one under a gable extension on near the center of the block; one recessed under the eaves in a squared alcove
 type commercial doors with almost full-height glass windows; the central one has a sidelight
 trim flat
- 4) **Porch(es)** vestibule Gable-front extension supported on columns shelters central entrance

b. Side: Direction: NW

- 1) **Bays** 2
- 2) **Windows**
 fenestration regular
 type paired fixed pane
 trim flat
 shutters N/A
- 3) **Door(s)**
 location N/A
 type N/A
 trim N/A
- 4) **Porch(es)** N/A

c. Side: Direction: SE (partially obscured by breezeway connecting the block to the original house block)

- 1) **Bays** 3
- 2) **Windows**
 fenestration irregular
 type bay window on the former garage
 trim flat
 shutters N/A
- 3) **Door(s)**
 location in the second story of the large addition at the top of a set of wooden stairs
 type paneled solid door
 trim flat
- 4) **Porch(es)** N/A

d. Rear: Direction: SW

- 1) **Bays** 4
- 2) **Windows**
 fenestration regular
 type paired fixed panes
 trim flat
 shutters N/A
- 3) **Door(s)**
 location near northern corner of the large addition
 type paneled solid door
 trim flat
- 4) **Porch(es)** N/A

9. INTERIOR: Unknown

- 10. LANDSCAPING:** The area in front of the façade facing Wescoats Road is paved for parking, with a driveway leading along the east elevation and to the rear of the structure. The rest of the building is surrounded by small sections of grass and a large open field is located to the west of the building.



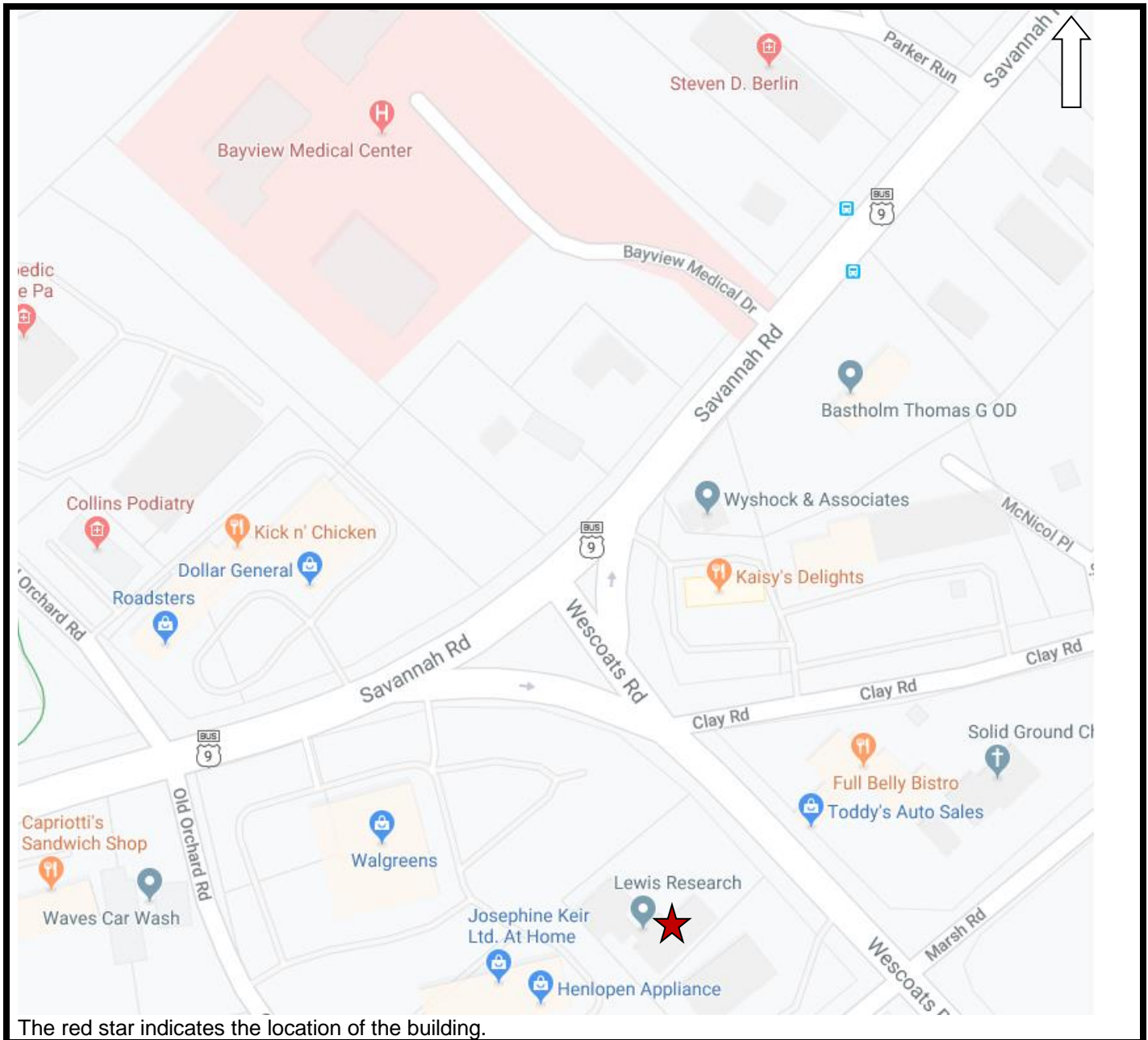
DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
MAP FORM

CRS # S00973

1. ADDRESS/LOCATION: 33712 Wescoats Road, Lewes, DE 19958
2. NOT FOR PUBLICATION reason: _____
3. LOCATION MAP:
Indicate position of resource in relation to geographical landmarks such as streams and crossroads.
(insert section of USGS quad map or aerial photograph with location marked)

INDICATE NORTH ON SKETCH

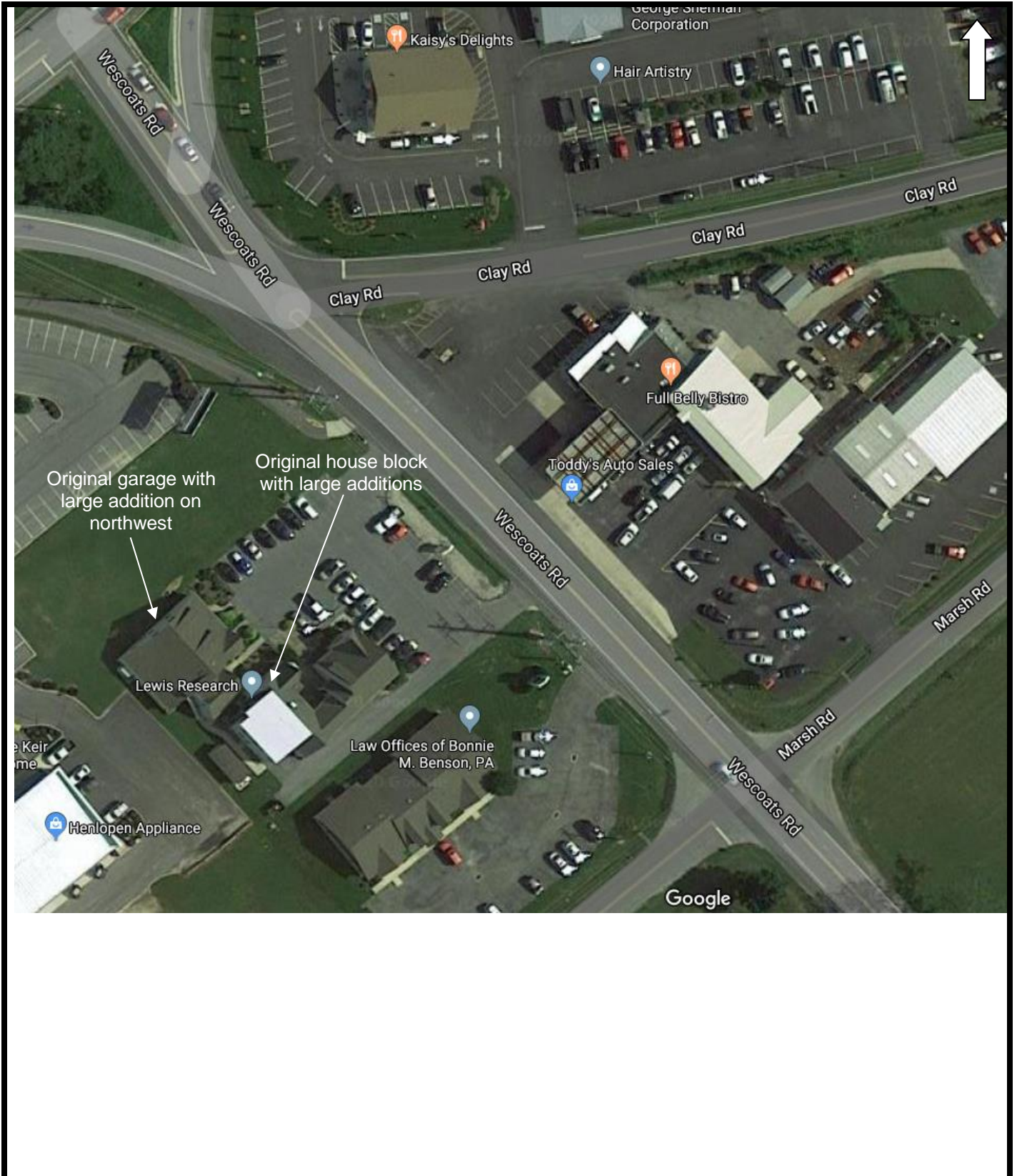


The red star indicates the location of the building.

4. SITE PLAN:

(insert aerial photograph or map showing relationship of buildings, driveway, outbuildings, fences, etc., to each other; label elements as needed; add other pages as needed)

INDICATE NORTH ON PLAN





DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
SURVEY UPDATE FORM

CRS # S00973

1. HISTORIC NAME/FUNCTION: Jump House/Commercial Complex

2. ADDRESS/LOCATION: 33712 Wescoats Rd., Lewes, DE 19958

3. CURRENT CONDITION: excellent good fair poor demolished

4. INTEGRITY: The original property has lost its integrity of materials, design, workmanship, feeling, and association as it has been converted from a residential structure to a commercial complex. It has multiple large additions and almost all of the exterior materials have been replaced.

5. SETTING INTEGRITY: The setting has been developed heavily with new commercial and residential structures.

6. FORMS ADDED (give number of forms completed for each):

#:	Form:	List property types:
2	CRS 2 Main Building Form	Original house block; Office Building
	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
1	CRS 9 Map Form	N/A
	CRS 13 Photographs Form	N/A
	CRS 14 Proposed District Form	
	CRS 15 Structure (Bridge) Form	

7. SURVEYOR INFORMATION:

Surveyor name: Maureen McCoy

Principal Investigator name: Maureen McCoy

Principal Investigator signature: Maureen R McCoy

Organization: Delaware Department of Transportation Date: 07/16/2020

8. OTHER NOTES OR OBSERVATIONS:

CRS# S00973

The modern addition on the original house and the large modern structure built just north of the house were added to the property in 1998. The same has been done to the detached garage. The property is now a commercial complex.

9. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes; refer to state management plan(s)):

a) Time period(s)

- Pre-European Contact
- Paleo-Indian
- Archaic
- Woodland I
- Woodland II

- 1600-1750± Contact Period (Native American)
- 1630-1730± Exploration and Frontier Settlement
- 1730-1770± Intensified and Durable Occupation
- 1770-1830± Early Industrialization
- 1830-1880± Industrialization and Early Urbanization
- 1880-1940± Urbanization and Early Suburbanization
- 1940-1960± Suburbanization and Early Ex-urbanization

b) Geographical zone

- Piedmont
- Upper Peninsula
- Lower Peninsula/Cypress Swamp
- Coastal
- Urban (City of Wilmington)

c) Historic period theme(s)

- | | |
|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Transportation and Communication |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Settlement Patterns and Demographic Changes |
| <input type="checkbox"/> Trapping/Hunting | <input checked="" type="checkbox"/> Architecture, Engineering and Decorative Arts |
| <input type="checkbox"/> Mining/Quarrying | <input type="checkbox"/> Government |
| <input type="checkbox"/> Fishing/Oystering | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Manufacturing | <input type="checkbox"/> Education |
| <input type="checkbox"/> Retailing/Wholesaling | <input type="checkbox"/> Community Organizations |
| <input type="checkbox"/> Finance | <input type="checkbox"/> Occupational Organizations |
| <input checked="" type="checkbox"/> Professional Services | <input type="checkbox"/> Major Families, Individuals and Events |



CULTURAL RESOURCE SURVEY
DIGITAL PHOTOGRAPHS FORM

CRS # S00973

Date January 2020 Surveyor/Photographer Alexandra Tarantino & Maureen McCoy

Insert photographs; note file name and brief description of view:
(size photograph 3" on longest side; MAINTAIN ASPECT RATIO – DO NOT STRETCH PHOTO)



S00973 001 – View of the property looking southwest from Wescoats Road.



S00973 002 – View of the property looking southeast.



S00973 003 – View of the northeastern façade of the modern structure built just north of the original house.



S00973 004 – Detail view of the northeastern elevations of the structures, where the multiple office entrances and connecting breezeway can be seen.



S00973 005 – View of the original house (background) and the large addition on its façade (foreground).



S00973 006 – View of the southern elevation and driveway on the large addition to the original house.



S00973 007 – View of the rear elevation of the original house block.



S00973 008 – View of the rear elevation of the former garage and large modern building connected to it.



S00973 009 – A view of the three doors on the façade of the shed structure located behind the main house.



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CULTURAL RESOURCE SURVEY
SURVEY UPDATE FORM

CRS # S00975

1. HISTORIC NAME/FUNCTION: Farm complex

2. ADDRESS/LOCATION: 33761 Wescoats Rd., Lewes, DE 19958

3. CURRENT CONDITION: excellent good fair poor demolished

4. INTEGRITY: None due to demolition

5. SETTING INTEGRITY: The setting has been developed heavily with new commercial and residential structures.

6. FORMS ADDED (give number of forms completed for each):

#:	Form:	List property types:
	CRS 2 Main Building Form	
	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
1	CRS 9 Map Form	N/A
	CRS 13 Photographs Form	N/A
	CRS 14 Proposed District Form	
	CRS 15 Structure (Bridge) Form	

7. SURVEYOR INFORMATION:

Surveyor name: Maureen McCoy

Principal Investigator name: Maureen McCoy

Principal Investigator signature: Maureen R McCoy

Organization: Delaware Department of Transportation Date: 07/16/2020

8. OTHER NOTES OR OBSERVATIONS:

CRS# S00975

According to aerial images, the main house was demolished between 2002 and 2007. The remaining original building is a small gambrel roofed barn.

9. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes; refer to state management plan(s)):

a) Time period(s)

- Pre-European Contact
- Paleo-Indian
- Archaic
- Woodland I
- Woodland II

- 1600-1750± Contact Period (Native American)
- 1630-1730± Exploration and Frontier Settlement
- 1730-1770± Intensified and Durable Occupation
- 1770-1830± Early Industrialization
- 1830-1880± Industrialization and Early Urbanization
- 1880-1940± Urbanization and Early Suburbanization
- 1940-1960± Suburbanization and Early Ex-urbanization

b) Geographical zone

- Piedmont
- Upper Peninsula
- Lower Peninsula/Cypress Swamp
- Coastal
- Urban (City of Wilmington)

c) Historic period theme(s)

- | | |
|--|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Transportation and Communication |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Settlement Patterns and Demographic Changes |
| <input type="checkbox"/> Trapping/Hunting | <input checked="" type="checkbox"/> Architecture, Engineering and Decorative Arts |
| <input type="checkbox"/> Mining/Quarrying | <input type="checkbox"/> Government |
| <input type="checkbox"/> Fishing/Oystering | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Manufacturing | <input type="checkbox"/> Education |
| <input type="checkbox"/> Retailing/Wholesaling | <input type="checkbox"/> Community Organizations |
| <input type="checkbox"/> Finance | <input type="checkbox"/> Occupational Organizations |
| <input type="checkbox"/> Professional Services | <input type="checkbox"/> Major Families, Individuals and Events |



CULTURAL RESOURCE SURVEY
DIGITAL PHOTOGRAPHS FORM

CRS # S00975

Date January 2020 Surveyor/Photographer Alexandra Tarantino & Maureen McCoy

Insert photographs; note file name and brief description of view:
(size photograph 3" on longest side; MAINTAIN ASPECT RATIO – DO NOT STRETCH PHOTO)



S00975 001 – View of the property looking southeast from Marsh Road



S00975 002 – View of the property looking northeast



S00975 003 – View of the primary (west) façade of the remaining barn on the property



S00975 004 – View of the north elevation of the barn



S00975 005 – View of the south and west (rear) elevation of the barn



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
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CULTURAL RESOURCE SURVEY
SURVEY UPDATE FORM

CRS # S00976

1. HISTORIC NAME/FUNCTION: Formerly Paradee Oil Company, now Clean Delaware, Inc.

2. ADDRESS/LOCATION: 33852 Clay Road, Lewes, DE 19958

3. CURRENT CONDITION: excellent good fair poor demolished

4. INTEGRITY: The building has lost its integrity of materials, design, and workmanship due to the installation of modern materials, such as siding, roofing, and windows.

5. SETTING INTEGRITY: The setting has been developed heavily with new commercial and residential structures.

6. FORMS ADDED (give number of forms completed for each):

#:	Form:	List property types:
1	CRS 2 Main Building Form	Main building
1	CRS 3 Secondary Building Form	Storage building
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
1	CRS 9 Map Form	N/A
1	CRS 13 Photographs Form	N/A
	CRS 14 Proposed District Form	
	CRS 15 Structure (Bridge) Form	

7. SURVEYOR INFORMATION:

Surveyor name: Maureen McCoy

Principal Investigator name: Maureen McCoy

Principal Investigator signature: *Maureen R McCoy*

Organization: Delaware Department of Transportation Date: 07/16/2020

9. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes; refer to state management plan(s)):

a) Time period(s)

- Pre-European Contact
- Paleo-Indian
- Archaic
- Woodland I
- Woodland II
- 1600-1750± Contact Period (Native American)
- 1630-1730± Exploration and Frontier Settlement
- 1730-1770± Intensified and Durable Occupation
- 1770-1830± Early Industrialization
- 1830-1880± Industrialization and Early Urbanization
- 1880-1940± Urbanization and Early Suburbanization
- 1940-1960± Suburbanization and Early Ex-urbanization

b) Geographical zone

- Piedmont
- Upper Peninsula
- Lower Peninsula/Cypress Swamp
- Coastal
- Urban (City of Wilmington)

c) Historic period theme(s)

- | | |
|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Transportation and Communication |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Settlement Patterns and Demographic Changes |
| <input type="checkbox"/> Trapping/Hunting | <input checked="" type="checkbox"/> Architecture, Engineering and Decorative Arts |
| <input type="checkbox"/> Mining/Quarrying | <input type="checkbox"/> Government |
| <input type="checkbox"/> Fishing/Oystering | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Manufacturing | <input type="checkbox"/> Education |
| <input checked="" type="checkbox"/> Retailing/Wholesaling | <input type="checkbox"/> Community Organizations |
| <input type="checkbox"/> Finance | <input type="checkbox"/> Occupational Organizations |
| <input type="checkbox"/> Professional Services | <input type="checkbox"/> Major Families, Individuals and Events |



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
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CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # S00976

1. ADDRESS/LOCATION: 33852 Clay Road, Lewes, DE 19958

2. FUNCTION(S): historic Commercial current Commercial

3. YEAR BUILT: 1960s CIRCA?: ARCHITECT/BUILDER: N/A

4. STYLE OR FLOOR PLAN: Rectangular block with rear extensions

5. INTEGRITY: original site moved

if moved, from where other location's CRS # Year

list major alterations and additions with years (if known) Year

a.

b.

6. CURRENT CONDITION: excellent good fair poor

7. DESCRIPTION: (Describe the resource as completely as possible. Use N/A for not applicable; leave no blanks.)

a. Overall shape: rectangular Stories: 1
Additions: N/A

b. Structural system (if known): frame

c. Foundation: materials: concrete
basement: full partial not visible no basement

d. Exterior walls (original if visible & any subsequent coverings): vinyl siding

e. Roof: shape: gable with a rear perpendicular gable and shed extension
materials: asphalt shingle
cornice: N/A
dormers: NA
chimney: location(s): N/A

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: E

1) Bays 4

2) Windows

fenestration regular
type 6/1 and 1/1 double-hung sash
trim wide, recessed
shutters N/A

Facade (cont'd)

- 3) **Door(s)**
 location **central in main block**
 type **outer glass door and interior paneled door**
 trim **wide**
- 4) **Porch(es)** **N/A**

b. Side: Direction: W

- 1) **Bays** **3**
- 2) **Windows**
 fenestration **regular**
 type **6/1 double-hung sash in pairs**
 trim **wide, recessed**
 shutters **N/A**
- 3) **Door(s)**
 location **N/A**
 type **N/A**
 trim **N/A**
- 4) **Porch(es)** **N/A**

c. Side: Direction: N

- 1) **Bays** **3**
- 2) **Windows**
 fenestration **regular**
 type **paired 6/1 double-hung sash**
 trim **wide, recessed**
 shutters **N/A**
- 3) **Door(s)**
 location **N/A**
 type **N/A**
 trim **N/A**
- 4) **Porch(es)** **N/A**

d. Rear: Direction: S (not visible from public right-of-way)

- 1) **Bays** **Unknown**
- 2) **Windows**
 fenestration **Unknown**
 type **Unknown**
 trim **Unknown**
 shutters **Unknown**
- 3) **Door(s)**
 location **Unknown**
 type **Unknown**
 trim **Unknown**
- 4) **Porch(es)** **Unknown**

9. INTERIOR: Unknown

10. LANDSCAPING: The area around the building is a paved and gravel parking lot.



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CULTURAL RESOURCE SURVEY
SECONDARY BUILDING FORM

CRS # S00976

1. ADDRESS/LOCATION: 33852 Clay Road, Lewes, DE 19958

2. FUNCTION(S): historic Storage or garage current storage

3. YEAR BUILT: 1960s CIRCA?: ARCHITECT/BUILDER: N/A

4. STYLE/FLOOR PLAN: Rectangular

5. INTEGRITY: original site moved

if moved, from where original location's CRS # year

list major alterations and additions with years (if known) year

- a.
- b.

6. CURRENT CONDITION: excellent good fair poor

7. DESCRIPTION:

- a. Structural system frame
- b. Number of stories 1
- c. Wall coverings vinyl siding
- d. Foundation concrete
- e. Roof
structural system gable, frame
coverings metal
openings N/A

8. DESCRIPTION OF ELEVATIONS:

- a. Facade: direction: N
 - 1) bays: 2
 - 2) windows: faux 6/6 double hung sash
 - 3) door(s): vinyl or metal paneled door with 9-pane window
 - 4) other: N/A

- b. **Side: direction:** W
- 1) **bays:** 2
 - 2) **windows:** faux 6/6 double hung sash
 - 3) **door(s):** N/A
 - 4) **other:** N/A

- c. **Side: direction:** E (not visible)
- 1) **bays:** N/A
 - 2) **windows:** N/A
 - 3) **door(s):** N/A
 - 4) **other:** N/A

- d. **Rear: direction:** S (not visible)
- 1) **bays:** N/A
 - 2) **windows:** N/A
 - 3) **door(s):** N/A
 - 4) **other:** N/A

9. **INTERIOR (if accessible):**

- a) **Floor plan** **N/A**
- b) **Partition/walls** **N/A**
- c) **Finishes** **N/A**
- d) **Furnishings/machinery** **N/A**



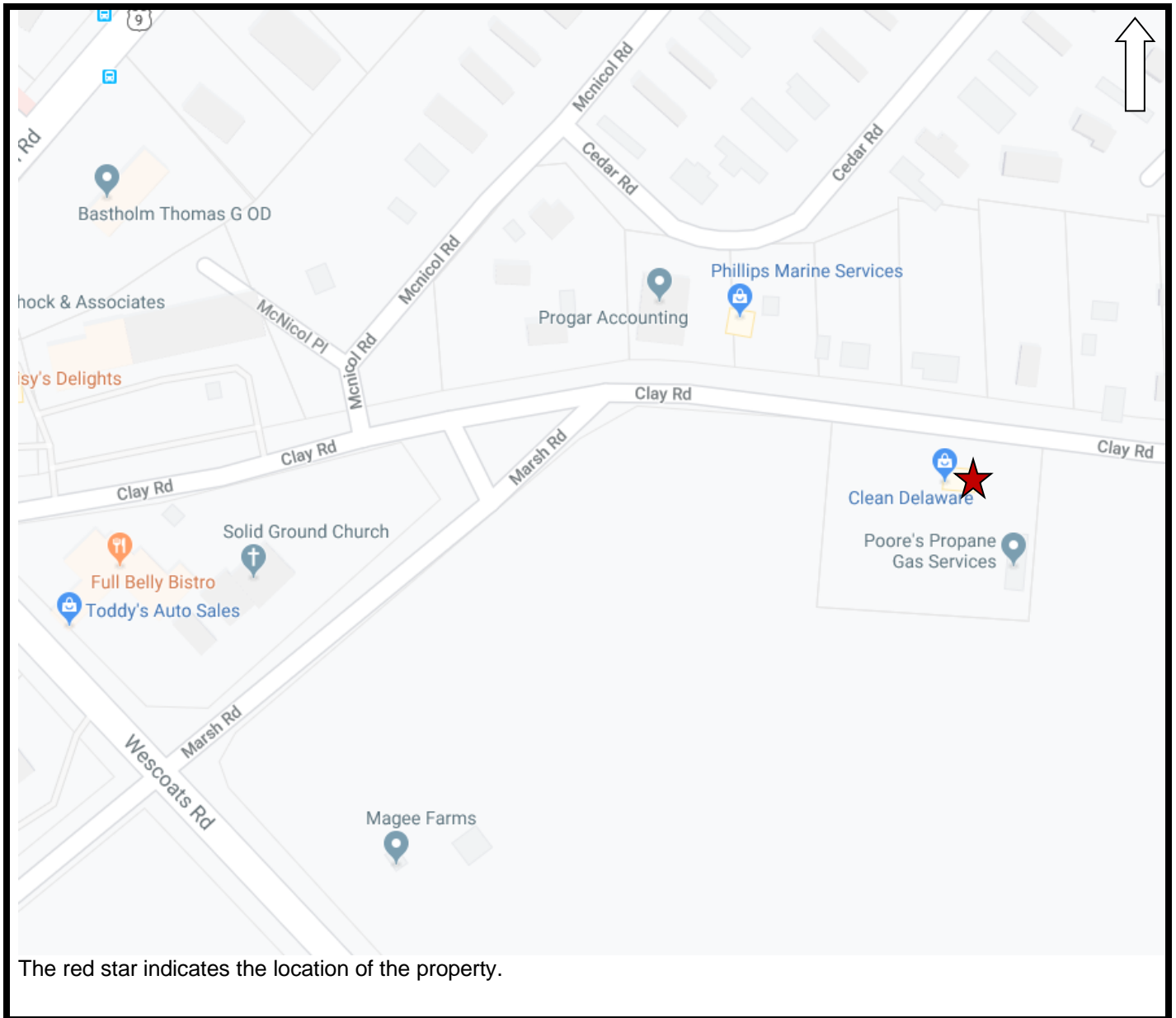
DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
MAP FORM

CRS # S00976

1. ADDRESS/LOCATION: 33852 Clay Road, Lewes, DE 19958
2. NOT FOR PUBLICATION reason: _____
3. LOCATION MAP:
Indicate position of resource in relation to geographical landmarks such as streams and crossroads.
(insert section of USGS quad map or aerial photograph with location marked)

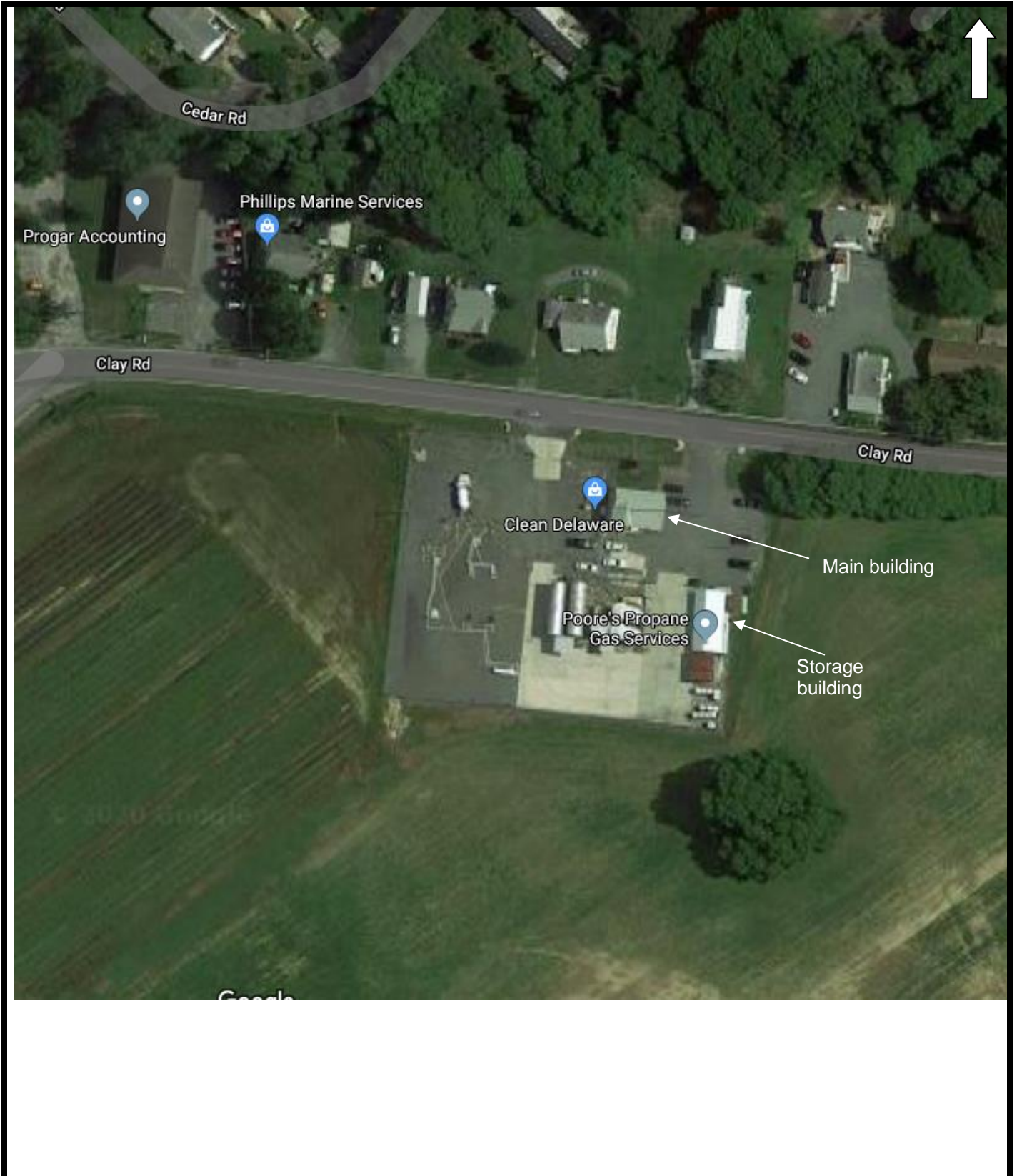
INDICATE NORTH ON SKETCH



4. SITE PLAN:

(insert aerial photograph or map showing relationship of buildings, driveway, outbuildings, fences, etc., to each other; label elements as needed; add other pages as needed)

INDICATE NORTH ON PLAN





CULTURAL RESOURCE SURVEY
DIGITAL PHOTOGRAPHS FORM

CRS # S00976

Date February 2020 Surveyor/Photographer Alexandra Tarantino & Maureen McCoy

Insert photographs; note file name and brief description of view:
(size photograph 3" on longest side; MAINTAIN ASPECT RATIO – DO NOT STRETCH PHOTO)



S00976 001 – A wide view of the property looking east from Clay Road



S00976 002 – A view of the west and north elevations of the main building



S00976 003 – A view of the north and east elevations of the main building with the front door on the east



S00976 004 – A view of the storage building on the southeast corner of the property



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
SURVEY UPDATE FORM

CRS # S00979

1. HISTORIC NAME/FUNCTION: Eschenbach Property

2. ADDRESS/LOCATION: 33805 Clay Rd., Lewes, DE 19958

3. CURRENT CONDITION: excellent good fair poor demolished

4. INTEGRITY: The main house has lost its integrity of materials, design, and workmanship due to the installation of modern materials, such as siding, roofing, and windows, and the multiple additions to the main block.

5. SETTING INTEGRITY: The setting has been developed heavily with new commercial and residential structures and is no longer representative of an agricultural complex.

6. FORMS ADDED (give number of forms completed for each):

#:	Form:	List property types:
1	CRS 2 Main Building Form	Main house
4	CRS 3 Secondary Building Form	"House A," "House B," "House C," detached garage
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
1	CRS 9 Map Form	N/A
1	CRS 13 Photographs Form	N/A
	CRS 14 Proposed District Form	
	CRS 15 Structure (Bridge) Form	

7. SURVEYOR INFORMATION:

Surveyor name: Maureen McCoy

Principal Investigator name: Maureen McCoy

Principal Investigator signature: Maureen R McCoy

Organization: Delaware Department of Transportation Date: 07/16/2020

9. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes; refer to state management plan(s)):

a) Time period(s)

- Pre-European Contact
- Paleo-Indian
- Archaic
- Woodland I
- Woodland II
- 1600-1750± Contact Period (Native American)
- 1630-1730± Exploration and Frontier Settlement
- 1730-1770± Intensified and Durable Occupation
- 1770-1830± Early Industrialization
- 1830-1880± Industrialization and Early Urbanization
- 1880-1940± Urbanization and Early Suburbanization
- 1940-1960± Suburbanization and Early Ex-urbanization

b) Geographical zone

- Piedmont
- Upper Peninsula
- Lower Peninsula/Cypress Swamp
- Coastal
- Urban (City of Wilmington)

c) Historic period theme(s)

- | | |
|--|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Transportation and Communication |
| <input type="checkbox"/> Forestry | <input checked="" type="checkbox"/> Settlement Patterns and Demographic Changes |
| <input type="checkbox"/> Trapping/Hunting | <input checked="" type="checkbox"/> Architecture, Engineering and Decorative Arts |
| <input type="checkbox"/> Mining/Quarrying | <input type="checkbox"/> Government |
| <input type="checkbox"/> Fishing/Oystering | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Manufacturing | <input type="checkbox"/> Education |
| <input type="checkbox"/> Retailing/Wholesaling | <input type="checkbox"/> Community Organizations |
| <input type="checkbox"/> Finance | <input type="checkbox"/> Occupational Organizations |
| <input type="checkbox"/> Professional Services | <input type="checkbox"/> Major Families, Individuals and Events |



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # S00979

1. ADDRESS/LOCATION: 33805 Clay Rd., Lewes, DE 19958
2. FUNCTION(S): historic Single family residence current Single family residence
3. YEAR BUILT: 1900 CIRCA?: ARCHITECT/BUILDER: N/A
4. STYLE OR FLOOR PLAN: Colonial Revival
5. INTEGRITY: original site moved
if moved, from where other location's CRS # year

list major alterations and additions with years (if known) year

a. one-story addition to south and west elevation

b. rear shed-roof addition

6. CURRENT CONDITION: excellent good fair poor
7. DESCRIPTION: (Describe the resource as completely as possible. Use N/A for not applicable; leave no blanks.)
- a. Overall shape: rectangular Stories: 2
Additions: one-story addition on southwestern half of primary façade that wraps around to the west elevation (date unknown); rear shed-roofed lean-to addition (date unknown)
- b. Structural system (if known): frame
- c. Foundation: materials: concrete block on the front addition; precast concrete stone on main house
basement: full partial not visible no basement
- d. Exterior walls (original if visible & any subsequent coverings): Thin vinyl siding on addition and larger sized vinyl siding on main block
- e. Roof: shape: gable on main block; hipped and shed on additions
materials: asphalt shingle
cornice: N/A
dormers: rear shed dormer
chimney: location(s): N/A

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: S

1) Bays 4

2) Windows

fenestration irregular

type 1/1 double-hung sash; 6/6 double hung sash with 4-segment fanlight

trim wide, vinyl

shutters louvered and on addition only

Facade (cont'd)

- 3) **Door(s)**
 location facing east on the addition
 type 6-paneled
 trim wide, slightly recessed
- 4) **Porch(es)** N/A

b. Side: Direction: E

- 1) **Bays** 2
- 2) **Windows**
 fenestration regular
 type 1/1 double-hung sash
 trim thin
 shutters N/A
- 3) **Door(s)**
 location one second story
 type 6-paneled
 trim wide, slightly recessed
- 4) **Porch(es)** wooden stair and small porch in front of second-story door

c. Side: Direction: W

- 1) **Bays** 5
- 2) **Windows**
 fenestration irregular
 type 1/1 double hung sash; single-pane fixed; 6/6 double hung sash
 trim thin
 shutters N/A
- 3) **Door(s)**
 location There appears to be a doorway on this elevation, but the door cannot be seen through the shrubbery.
 type Unknown
 trim N/A
- 4) **Porch(es)** N/A

d. Rear: Direction: N (not fully visible)

- 1) **Bays** Unknown
- 2) **Windows**
 fenestration Unknown
 type 1/1 double hung sash
 trim flat
 shutters N/A
- 3) **Door(s)**
 location Unknown
 type Unknown
 trim Unknown
- 4) **Porch(es)** Unknown

9. INTERIOR: Unknown

- 10. LANDSCAPING:** There are several large trees in the mostly cleared lawn in front of the house. Large trees and shrubs obscure the area between the rest of the lot and the road. A gravel driveway located to the east of the main house allows access to the property from Clay Road.



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
SECONDARY BUILDING FORM

CRS # S00979

1. ADDRESS/LOCATION: 33805 Clay Road, Lewes, DE 19958

2. FUNCTION(S): historic unknown current dwelling—"House A"

3. YEAR BUILT: 1950s CIRCA?: ARCHITECT/BUILDER: N/A

4. STYLE/FLOOR PLAN: Rectangular

5. INTEGRITY: original site moved

if moved, from where original location's CRS # year

list major alterations and additions with years (if known) year

- a.
- b.

6. CURRENT CONDITION: excellent good fair poor

7. DESCRIPTION:

- a. Structural system frame
- b. Number of stories 1
- c. Wall coverings vinyl siding
- d. Foundation stucco
- e. Roof
 - structural system gable, frame
 - coverings asphalt shingle
 - openings N/A

8. DESCRIPTION OF ELEVATIONS:

- a. Facade: direction: E
 - 1) bays: 2
 - 2) windows: central, 4/4 double hung sash
 - 3) door(s): 6-paneled, vinyl
 - 4) other: N/A

- b. **Side: direction:** N
 - 1) **bays:** 2
 - 2) **windows:** regular, double hung sash
 - 3) **door(s):** N/A
 - 4) **other:** N/A

- c. **Side: direction:** S
 - 1) **bays:** 1
 - 2) **windows:** central, 1/1 double hung sash
 - 3) **door(s):** N/A
 - 4) **other:** N/A

- d. **Rear: direction:** W (not visible)
 - 1) **bays:** N/A
 - 2) **windows:** N/A
 - 3) **door(s):** N/A
 - 4) **other:** N/A

9. **INTERIOR (if accessible):**

- a) **Floor plan** N/A

- b) **Partition/walls** N/A

- c) **Finishes** N/A

- d) **Furnishings/machinery** N/A



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
SECONDARY BUILDING FORM

CRS # S00979

1. ADDRESS/LOCATION: 33805 Clay Road, Lewes, DE 19958

2. FUNCTION(S): historic unknown current dwelling—"House B"

3. YEAR BUILT: 1950s CIRCA?: ARCHITECT/BUILDER: N/A

4. STYLE/FLOOR PLAN: Rectangular

5. INTEGRITY: original site moved

if moved, from where original location's CRS # year

list major alterations and additions with years (if known) year

a. lean-to with shed roof on east elevation (possibly an enclosed porch)

b.

6. CURRENT CONDITION: excellent good fair poor

7. DESCRIPTION:

a. Structural system frame

b. Number of stories 1

c. Wall coverings wooden shingles on main block; vinyl siding on lean-to addition on east elevation

d. Foundation concrete block

e. Roof

structural system gable, frame
coverings asphalt shingle
openings N/A

8. DESCRIPTION OF ELEVATIONS:

a. Facade: direction: N (not visible)

1) bays: Unknown

2) windows: Unknown

3) door(s): Unknown

4) other: Unknown

b. Side: direction: W (obscured by vegetation)

- 1) bays: 2
- 2) windows: Unknown
- 3) door(s): N/A
- 4) other: N/A

c. Side: direction: S

- 1) bays: 3
- 2) windows: 6/6 double hung sash
- 3) door(s): N/A
- 4) other: N/A

d. Rear: direction: E

- 1) bays: 1
- 2) windows: 1/1 double hung sash; small fanlight window opening in gable peak now filled with vent
- 3) door(s): N/A
- 4) other: N/A

9. INTERIOR (if accessible):

- a) Floor plan N/A
- b) Partition/walls N/A
- c) Finishes N/A
- d) Furnishings/machinery N/A



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
SECONDARY BUILDING FORM

CRS # S00979

1. ADDRESS/LOCATION: 33805 Clay Road, Lewes, DE 19958

2. FUNCTION(S): historic unknown current dwelling—"House C"

3. YEAR BUILT: 1900s CIRCA?: ARCHITECT/BUILDER: N/A

4. STYLE/FLOOR PLAN: Rectangular—possibly a converted barn

5. INTEGRITY: original site moved

if moved, from where original location's CRS # year

list major alterations and additions with years (if known) year

a. single-story addition on west elevation

b.

6. CURRENT CONDITION: excellent good fair poor

7. DESCRIPTION:

a. Structural system frame

b. Number of stories 2.5

c. Wall coverings vinyl siding

d. Foundation concrete on addition; main block foundation not visible

e. Roof

structural system gable, frame

coverings sheet metal

openings N/A

8. DESCRIPTION OF ELEVATIONS:

a. Facade: direction: W (partially visible—vegetation is obscuring half of the building)

1) bays: Unknown

2) windows: Unknown

3) door(s): Two garage doors, one of which has been converted to include an entrance door

4) other: Unknown

- b. **Side: direction:** S
- 1) **bays:** 5
 - 2) **windows:** 1/1 double hung sash
 - 3) **door(s):** door with 9-pane window
 - 4) **other:** N/A
- c. **Side: direction:** E
- 1) **bays:** 2
 - 2) **windows:** 1/1 double hung sash; large 4-pane window on second story
 - 3) **door(s):** N/A
 - 4) **other:** N/A
- d. **Rear: direction:** N (not visible)
- 1) **bays:** N/A
 - 2) **windows:** N/A
 - 3) **door(s):** N/A
 - 4) **other:** N/A

9. **INTERIOR (if accessible):**

- a) **Floor plan** N/A
- b) **Partition/walls** N/A
- c) **Finishes** N/A
- d) **Furnishings/machinery** N/A



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
SECONDARY BUILDING FORM

CRS # S00979

1. ADDRESS/LOCATION: 33805 Clay Road, Lewes, DE 19958

2. FUNCTION(S): historic Detached garage current Detached garage

3. YEAR BUILT: 1960s CIRCA?: ARCHITECT/BUILDER: N/A

4. STYLE/FLOOR PLAN: Rectangular

5. INTEGRITY: original site moved

if moved, from where original location's CRS # year

list major alterations and additions with years (if known) year

- a.
- b.

6. CURRENT CONDITION: excellent good fair poor

7. DESCRIPTION:

- a. Structural system frame
- b. Number of stories 1
- c. Wall coverings vinyl siding
- d. Foundation not visible
- e. Roof
structural system gable, frame
coverings not visible
openings N/A

8. DESCRIPTION OF ELEVATIONS:

- a. Facade: direction: S
 - 1) bays: 1
 - 2) windows: N/A
 - 3) door(s): retractable garage door, likely aluminum
 - 4) other: N/A

b. Side: direction: W (not visible)

1) bays: N/A

2) windows: N/A

3) door(s): N/A

4) other: N/A

c. Side: direction: E (not visible)

1) bays: N/A

2) windows: N/A

3) door(s): N/A

4) other: N/A

d. Rear: direction: N (not visible)

1) bays: N/A

2) windows: N/A

3) door(s): N/A

4) other: N/A

9. INTERIOR (if accessible):

a) Floor plan N/A

b) Partition/walls N/A

c) Finishes N/A

d) Furnishings/machinery N/A



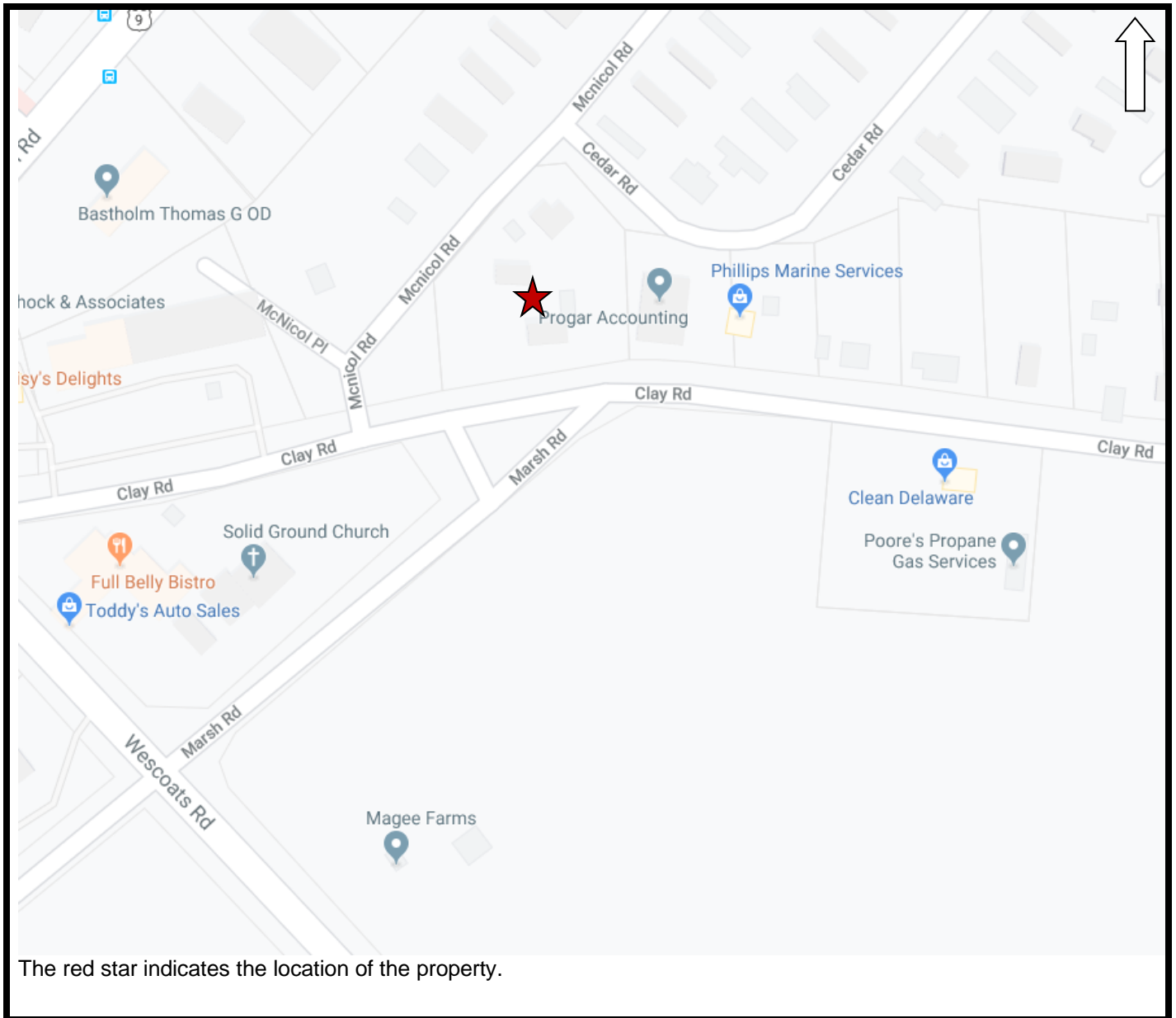
DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
MAP FORM

CRS # S00979

1. ADDRESS/LOCATION: 33805 Clay Road, Lewes, DE 19958
2. NOT FOR PUBLICATION reason: _____
3. LOCATION MAP:
Indicate position of resource in relation to geographical landmarks such as streams and crossroads.
(insert section of USGS quad map or aerial photograph with location marked)

INDICATE NORTH ON SKETCH



4. SITE PLAN:

(insert aerial photograph or map showing relationship of buildings, driveway, outbuildings, fences, etc., to each other; label elements as needed; add other pages as needed)

INDICATE NORTH ON PLAN





CULTURAL RESOURCE SURVEY
DIGITAL PHOTOGRAPHS FORM

CRS # S00979

Date January 2020 Surveyor/Photographer Alexandra Tarantino & Maureen McCoy

Insert photographs; note file name and brief description of view:
(size photograph 3" on longest side; MAINTAIN ASPECT RATIO – DO NOT STRETCH PHOTO)



S00979 001 – View of primary (south) façade of the main house on the property



S00979 002 – View of west elevation of the main house



S00979 003 – View of primary (south) and east elevations of the main house



S00979 004 – View of east elevation of the main house. A rear shed-roofed addition can be seen on the north elevation. The south elevation on House A can be seen in the right section of this image. In the center, the south and east elevations of House B can be seen in the background.



S00979 005 – View of primary (east) façade of House A, as it was referred to in 1979 photographic documentation. A shed-roofed dormer on the rear (north) elevation of the main house can be seen as well.



S00979 006 – View of south elevation of House B, as it was referred to in 1979 photographic documentation.



S00979 007 – View of east elevation of House B, where the shed-roofed lean-to addition can be seen. A small garage on the property can also be seen to the right.



S00979 008 – View of primary (south) façade of House C, as it was referred to in 1979 photographic documentation. The small garage on the property can also be seen to the left.



S00979 009 – View of west elevation of House C, where two garage doors can be seen.



S00979 010 – View of south and east elevations of House C.



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
SURVEY UPDATE FORM

CRS # S01023

1. HISTORIC NAME/FUNCTION: Dwelling

2. ADDRESS/LOCATION: 33688 Marsh Rd., Lewes, DE 19958

3. CURRENT CONDITION: excellent good fair poor demolished

4. INTEGRITY: None due to demolition

5. SETTING INTEGRITY: The setting has been developed heavily with new commercial and residential structures.

6. FORMS ADDED (give number of forms completed for each):

#:	Form:	List property types:
	CRS 2 Main Building Form	
	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
1	CRS 9 Map Form	N/A
	CRS 13 Photographs Form	N/A
	CRS 14 Proposed District Form	
	CRS 15 Structure (Bridge) Form	

7. SURVEYOR INFORMATION:

Surveyor name: Maureen McCoy

Principal Investigator name: Maureen McCoy

Principal Investigator signature: Maureen R McCoy

Organization: Delaware Department of Transportation Date: 01/30/2020

8. OTHER NOTES OR OBSERVATIONS:

CRS# S01023

According to aerial images, the house was demolished between 1992 and 1997.

9. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes; refer to state management plan(s)):

a) Time period(s)

- Pre-European Contact
- Paleo-Indian
- Archaic
- Woodland I
- Woodland II

- 1600-1750± Contact Period (Native American)
- 1630-1730± Exploration and Frontier Settlement
- 1730-1770± Intensified and Durable Occupation
- 1770-1830± Early Industrialization
- 1830-1880± Industrialization and Early Urbanization
- 1880-1940± Urbanization and Early Suburbanization
- 1940-1960± Suburbanization and Early Ex-urbanization

b) Geographical zone

- Piedmont
- Upper Peninsula
- Lower Peninsula/Cypress Swamp
- Coastal
- Urban (City of Wilmington)

c) Historic period theme(s)

- | | |
|--|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Transportation and Communication |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Settlement Patterns and Demographic Changes |
| <input type="checkbox"/> Trapping/Hunting | <input checked="" type="checkbox"/> Architecture, Engineering and Decorative Arts |
| <input type="checkbox"/> Mining/Quarrying | <input type="checkbox"/> Government |
| <input type="checkbox"/> Fishing/Oystering | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Manufacturing | <input type="checkbox"/> Education |
| <input type="checkbox"/> Retailing/Wholesaling | <input type="checkbox"/> Community Organizations |
| <input type="checkbox"/> Finance | <input type="checkbox"/> Occupational Organizations |
| <input type="checkbox"/> Professional Services | <input type="checkbox"/> Major Families, Individuals and Events |



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
SURVEY UPDATE FORM

CRS # S01024

1. HISTORIC NAME/FUNCTION: Commercial Building

2. ADDRESS/LOCATION: Savannah Road (Route 9), Lewes, DE 19958

3. CURRENT CONDITION: excellent good fair poor demolished

4. INTEGRITY: None due to demolition

5. SETTING INTEGRITY: The setting has been developed heavily with new commercial and residential structures.

6. FORMS ADDED (give number of forms completed for each):

#:	Form:	List property types:
	CRS 2 Main Building Form	
	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
1	CRS 9 Map Form	N/A
	CRS 13 Photographs Form	N/A
	CRS 14 Proposed District Form	
	CRS 15 Structure (Bridge) Form	

7. SURVEYOR INFORMATION:

Surveyor name: Maureen McCoy

Principal Investigator name: Maureen McCoy

Principal Investigator signature: Maureen R McCoy

Organization: Delaware Department of Transportation Date: 01/30/2020

8. OTHER NOTES OR OBSERVATIONS:

CRS# S01024

Formerly Manlove Automotive Service Inc. According to aerial images, the building was demolished between 2007 and 2012.

9. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes; refer to state management plan(s)):

a) Time period(s)

- Pre-European Contact
- Paleo-Indian
- Archaic
- Woodland I
- Woodland II

- 1600-1750± Contact Period (Native American)
- 1630-1730± Exploration and Frontier Settlement
- 1730-1770± Intensified and Durable Occupation
- 1770-1830± Early Industrialization
- 1830-1880± Industrialization and Early Urbanization
- 1880-1940± Urbanization and Early Suburbanization
- 1940-1960± Suburbanization and Early Ex-urbanization

b) Geographical zone

- Piedmont
- Upper Peninsula
- Lower Peninsula/Cypress Swamp
- Coastal
- Urban (City of Wilmington)

c) Historic period theme(s)

- | | |
|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Transportation and Communication |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Settlement Patterns and Demographic Changes |
| <input type="checkbox"/> Trapping/Hunting | <input checked="" type="checkbox"/> Architecture, Engineering and Decorative Arts |
| <input type="checkbox"/> Mining/Quarrying | <input type="checkbox"/> Government |
| <input type="checkbox"/> Fishing/Oystering | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Manufacturing | <input type="checkbox"/> Education |
| <input type="checkbox"/> Retailing/Wholesaling | <input type="checkbox"/> Community Organizations |
| <input type="checkbox"/> Finance | <input type="checkbox"/> Occupational Organizations |
| <input checked="" type="checkbox"/> Professional Services | <input type="checkbox"/> Major Families, Individuals and Events |



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
SURVEY UPDATE FORM

CRS # S01025

1. HISTORIC NAME/FUNCTION: Dwelling

2. ADDRESS/LOCATION: Savannah Road (Route 9) Lewes, DE 19958

3. CURRENT CONDITION: excellent good fair poor demolished

4. INTEGRITY: None due to demolition

5. SETTING INTEGRITY: The setting has been developed heavily with new commercial and residential structures.

6. FORMS ADDED (give number of forms completed for each):

#:	Form:	List property types:
	CRS 2 Main Building Form	
	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
1	CRS 9 Map Form	N/A
	CRS 13 Photographs Form	N/A
	CRS 14 Proposed District Form	
	CRS 15 Structure (Bridge) Form	

7. SURVEYOR INFORMATION:

Surveyor name: Maureen McCoy

Principal Investigator name: Maureen McCoy

Principal Investigator signature: Maureen R McCoy

Organization: Delaware Department of Transportation Date: 01/30/2020

8. OTHER NOTES OR OBSERVATIONS:

CRS# S01025

According to aerial images, the house was demolished between 1992 and 1997.

9. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes; refer to state management plan(s)):

a) Time period(s)

- Pre-European Contact
- Paleo-Indian
- Archaic
- Woodland I
- Woodland II

- 1600-1750± Contact Period (Native American)
- 1630-1730± Exploration and Frontier Settlement
- 1730-1770± Intensified and Durable Occupation
- 1770-1830± Early Industrialization
- 1830-1880± Industrialization and Early Urbanization
- 1880-1940± Urbanization and Early Suburbanization
- 1940-1960± Suburbanization and Early Ex-urbanization

b) Geographical zone

- Piedmont
- Upper Peninsula
- Lower Peninsula/Cypress Swamp
- Coastal
- Urban (City of Wilmington)

c) Historic period theme(s)

- | | |
|--|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Transportation and Communication |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Settlement Patterns and Demographic Changes |
| <input type="checkbox"/> Trapping/Hunting | <input checked="" type="checkbox"/> Architecture, Engineering and Decorative Arts |
| <input type="checkbox"/> Mining/Quarrying | <input type="checkbox"/> Government |
| <input type="checkbox"/> Fishing/Oystering | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Manufacturing | <input type="checkbox"/> Education |
| <input type="checkbox"/> Retailing/Wholesaling | <input type="checkbox"/> Community Organizations |
| <input type="checkbox"/> Finance | <input type="checkbox"/> Occupational Organizations |
| <input type="checkbox"/> Professional Services | <input type="checkbox"/> Major Families, Individuals and Events |



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
SURVEY UPDATE FORM

CRS # S01026

1. HISTORIC NAME/FUNCTION: Commercial Building

2. ADDRESS/LOCATION: Savannah Road (Route 9), Lewes, DE 19958

3. CURRENT CONDITION: excellent good fair poor demolished

4. INTEGRITY: None due to demolition

5. SETTING INTEGRITY: The setting has been developed heavily with new commercial and residential structures.

6. FORMS ADDED (give number of forms completed for each):

#:	Form:	List property types:
	CRS 2 Main Building Form	
	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
1	CRS 9 Map Form	N/A
	CRS 13 Photographs Form	N/A
	CRS 14 Proposed District Form	
	CRS 15 Structure (Bridge) Form	

7. SURVEYOR INFORMATION:

Surveyor name: Maureen McCoy

Principal Investigator name: Maureen McCoy

Principal Investigator signature: Maureen R McCoy

Organization: Delaware Department of Transportation Date: 01/30/2020

8. OTHER NOTES OR OBSERVATIONS:

CRS# S01026

According to aerial images, the complex on this property was demolished between 1992 and 1997. Previous survey indicated that the original house on this property was constructed in 1770. It is unclear if this house was extant at the time of this 1979 survey, which indicated the presence of a concrete block structure here owned by the Eastern Shore Auto Exchange.

9. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes; refer to state management plan(s)):

a) Time period(s)

- Pre-European Contact
- Paleo-Indian
- Archaic
- Woodland I
- Woodland II

- 1600-1750± Contact Period (Native American)
- 1630-1730± Exploration and Frontier Settlement
- 1730-1770± Intensified and Durable Occupation
- 1770-1830± Early Industrialization
- 1830-1880± Industrialization and Early Urbanization
- 1880-1940± Urbanization and Early Suburbanization
- 1940-1960± Suburbanization and Early Ex-urbanization

b) Geographical zone

- Piedmont
- Upper Peninsula
- Lower Peninsula/Cypress Swamp
- Coastal
- Urban (City of Wilmington)

c) Historic period theme(s)

- | | |
|--|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Transportation and Communication |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Settlement Patterns and Demographic Changes |
| <input type="checkbox"/> Trapping/Hunting | <input checked="" type="checkbox"/> Architecture, Engineering and Decorative Arts |
| <input type="checkbox"/> Mining/Quarrying | <input type="checkbox"/> Government |
| <input type="checkbox"/> Fishing/Oystering | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Manufacturing | <input type="checkbox"/> Education |
| <input type="checkbox"/> Retailing/Wholesaling | <input type="checkbox"/> Community Organizations |
| <input type="checkbox"/> Finance | <input type="checkbox"/> Occupational Organizations |
| <input type="checkbox"/> Professional Services | <input type="checkbox"/> Major Families, Individuals and Events |



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
SURVEY UPDATE FORM

CRS # S01029

1. HISTORIC NAME/FUNCTION: Dwelling

2. ADDRESS/LOCATION: Savannah Road (Route 9), Lewes, DE 19958

3. CURRENT CONDITION: excellent good fair poor demolished

4. INTEGRITY: None due to demolition

5. SETTING INTEGRITY: The setting has been developed heavily with new commercial and residential structures.

6. FORMS ADDED (give number of forms completed for each):

#:	Form:	List property types:
	CRS 2 Main Building Form	
	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
1	CRS 9 Map Form	N/A
	CRS 13 Photographs Form	N/A
	CRS 14 Proposed District Form	
	CRS 15 Structure (Bridge) Form	

7. SURVEYOR INFORMATION:

Surveyor name: Maureen McCoy

Principal Investigator name: Maureen McCoy

Principal Investigator signature: *Maureen R McCoy*

Organization: Delaware Department of Transportation Date: 01/30/2020

8. OTHER NOTES OR OBSERVATIONS:

CRS# S01029

According to aerial images, the house was demolished between 1992 and 1997.

9. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes; refer to state management plan(s)):

a) Time period(s)

- Pre-European Contact
- Paleo-Indian
- Archaic
- Woodland I
- Woodland II
- 1600-1750± Contact Period (Native American)
- 1630-1730± Exploration and Frontier Settlement
- 1730-1770± Intensified and Durable Occupation
- 1770-1830± Early Industrialization
- 1830-1880± Industrialization and Early Urbanization
- 1880-1940± Urbanization and Early Suburbanization
- 1940-1960± Suburbanization and Early Ex-urbanization

b) Geographical zone

- Piedmont
- Upper Peninsula
- Lower Peninsula/Cypress Swamp
- Coastal
- Urban (City of Wilmington)

c) Historic period theme(s)

- | | |
|--|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Transportation and Communication |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Settlement Patterns and Demographic Changes |
| <input type="checkbox"/> Trapping/Hunting | <input checked="" type="checkbox"/> Architecture, Engineering and Decorative Arts |
| <input type="checkbox"/> Mining/Quarrying | <input type="checkbox"/> Government |
| <input type="checkbox"/> Fishing/Oystering | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Manufacturing | <input type="checkbox"/> Education |
| <input type="checkbox"/> Retailing/Wholesaling | <input type="checkbox"/> Community Organizations |
| <input type="checkbox"/> Finance | <input type="checkbox"/> Occupational Organizations |
| <input type="checkbox"/> Professional Services | <input type="checkbox"/> Major Families, Individuals and Events |



CULTURAL RESOURCE SURVEY
DIGITAL PHOTOGRAPHS FORM

CRS # S01029

Date January 2020 Surveyor/Photographer Alexandra Tarantino & Maureen McCoy

Insert photographs; note file name and brief description of view:
(size photograph 3" on longest side; MAINTAIN ASPECT RATIO – DO NOT STRETCH PHOTO)



S01029 001 – View of the property where the Bayview Medical Center has replaced the original building documented as S01029



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
 STATE HISTORIC PRESERVATION OFFICE
 21 THE GREEN, DOVER, DE 19901

CRS # S13306
 SPO Map 20-21-12
 Hundred Lewes & Rehoboth
 Quad Lewes
 Other _____

CULTURAL RESOURCE SURVEY
 PROPERTY IDENTIFICATION FORM

1. HISTORIC NAME/FUNCTION: Commercial Complex
2. ADDRESS/LOCATION: 33711 Wescoats Road, Lewes, DE 19958
3. TOWN/NEAREST NAMED PLACE: Lewes vicinity?
4. MAIN TYPE OF RESOURCE:

building	<input checked="" type="checkbox"/>	structure	<input type="checkbox"/>	site	<input type="checkbox"/>	object	<input type="checkbox"/>
landscape	<input type="checkbox"/>	district	<input type="checkbox"/>				
5. MAIN FUNCTION OF PROPERTY: Commercial
6. PROJECT TITLE/ REASON FOR SURVEY (if applicable):

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
2	CRS 2 Main Building Form	Full Belly Bistro/C.J.'s Beach Bays, Toddy's Auto Sales/Groomingdale's/Solid Ground Church
2	CRS 3 Secondary Building Form	2 modern sheds
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
1	CRS 9 Map Form	N/A
1	CRS 13 Photographs Form	N/A
	CRS 14 Proposed District Form	
	CRS 15 Structure (Bridge) Form	

8. SURVEYOR INFORMATION:

Surveyor name: Maureen McCoy

Principal Investigator name: Maureen McCoy

Principal Investigator signature: *Maureen R McCoy*

Organization: Delaware Department of Transportation Date: 07/16/2020

9. OTHER NOTES OR OBSERVATIONS:

CRS# S13306

This building has been expanded and updated over the years, but the Full Belly Bistro block appears to be the original block constructed on this parcel as seen in 1954 aerial images.

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes; refer to state management plan(s)):

a) Time period(s)

- Pre-European Contact
- Paleo-Indian
- Archaic
- Woodland I
- Woodland II

- 1600-1750± Contact Period (Native American)
- 1630-1730± Exploration and Frontier Settlement
- 1730-1770± Intensified and Durable Occupation
- 1770-1830± Early Industrialization
- 1830-1880± Industrialization and Early Urbanization
- 1880-1940± Urbanization and Early Suburbanization
- 1940-1960± Suburbanization and Early Ex-urbanization

b) Geographical zone

- Piedmont
- Upper Peninsula
- Lower Peninsula/Cypress Swamp
- Coastal
- Urban (City of Wilmington)

c) Historic period theme(s)

- | | |
|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Transportation and Communication |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Settlement Patterns and Demographic Changes |
| <input type="checkbox"/> Trapping/Hunting | <input checked="" type="checkbox"/> Architecture, Engineering and Decorative Arts |
| <input type="checkbox"/> Mining/Quarrying | <input type="checkbox"/> Government |
| <input type="checkbox"/> Fishing/Oystering | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Manufacturing | <input type="checkbox"/> Education |
| <input checked="" type="checkbox"/> Retailing/Wholesaling | <input type="checkbox"/> Community Organizations |
| <input type="checkbox"/> Finance | <input type="checkbox"/> Occupational Organizations |
| <input checked="" type="checkbox"/> Professional Services | <input type="checkbox"/> Major Families, Individuals and Events |



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # S13306

1. ADDRESS/LOCATION: 33711 Wescoats, Lewes, DE 19958

2. FUNCTION(S): historic Commercial current Full Belly Bistro/C.J.'S Beach Bays

3. YEAR BUILT: 1950 CIRCA?: ARCHITECT/BUILDER: N/A

4. STYLE OR FLOOR PLAN: Mid-20th Century Commercial

5. INTEGRITY: original site moved

if moved, from where other location's CRS # year

list major alterations and additions with years (if known) year

a. "service station" attached as a recessed addition attached to the northeast corner with a gas pumping area on the southern elevation 1987

b.

6. CURRENT CONDITION: excellent good fair poor

7. DESCRIPTION: (Describe the resource as completely as possible. Use N/A for not applicable; leave no blanks.)

a. Overall shape: rectangular Stories: 2
Additions: There is a recessed addition attached to the northeast corner of the original block that is now home to C.J.'s Beach Bays.

b. Structural system (if known): unknown

c. Foundation: materials: concrete
basement: full partial not visible no basement

d. Exterior walls (original if visible & any subsequent coverings): vertical metal board and batten siding

e. Roof: shape: flat; low-pitched eaves-front gable on recessed addition
materials: sheet metal
cornice: N/A
dormers: N/A
chimney: location(s): N/A

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: SW

1) Bays 15

2) Windows

fenestration irregular
type 1/1 and 8/8 double hung sash; bay window with three sections, including central fixed pane
trim wide
shutters N/A

Facade (cont'd)

- 3) **Door(s)**
 location on the cut-in corners of the main block; on the recessed addition
 type commercial glass doors; two large garage doors with 9-pane windows
 trim wide, slightly recessed
- 4) **Porch(es)** N/A

b. Side: Direction: SE

- 1) **Bays** 4
- 2) **Windows**
 fenestration regular
 type small fixed pane set high up in the elevation
 trim flat, wide
 shutters N/A
- 3) **Door(s)**
 location on the southeastern corner
 type metal commercial door
 trim thin
- 4) **Porch(es)** N/A

c. Side: Direction: NW (main block only; addition not visible)

- 1) **Bays** 4
- 2) **Windows**
 fenestration regular
 type 1/1 double hung sash; small fixed pane
 trim wide
 shutters N/A
- 3) **Door(s)**
 location N/A
 type N/A
 trim N/A
- 4) **Porch(es)** N/A

d. Rear: Direction: NE (the rear of the main block is partially obscured)

- 1) **Bays** 6
- 2) **Windows**
 fenestration irregular
 type small fixed pane
 trim wide
 shutters N/A
- 3) **Door(s)**
 location in the recessed addition
 type vinyl garage doors
 trim wide
- 4) **Porch(es)** N/A

9. INTERIOR: Unknown

10. **LANDSCAPING:** The area around the building is paved for parking. The rear of the building is a gravel lot for addition parking, likely for employees and cars to be serviced.



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # S13306

1. ADDRESS/LOCATION: 33711 Wescoats Rd., Lewes, DE 19958

2. FUNCTION(S): historic Commercial current Toddy's Auto Sales/Groomingdale's/Solid Ground Church

3. YEAR BUILT: 1996 CIRCA?: ARCHITECT/BUILDER: N/A

4. STYLE OR FLOOR PLAN: Mid-20th Century Commercial

5. INTEGRITY: original site moved
if moved, from where other location's CRS # year

<u>list major alterations and additions with years (if known)</u>	<u>year</u>
a. Rear addition	c. 2003
b. Front addition	2011

6. CURRENT CONDITION: excellent good fair poor

7. DESCRIPTION: (Describe the resource as completely as possible. Use N/A for not applicable; leave no blanks.)

- a. Overall shape: rectangular Stories: 1 (tall)
Additions: The rear addition is home to Solid Ground Church. The front addition is home to Toddy's Auto Sales. The central block is the oldest section and is home to Groomingdale's.
- b. Structural system (if known): frame
- c. Foundation: materials: concrete
basement: full partial not visible no basement
- d. Exterior walls (original if visible & any subsequent coverings): vertical metal siding; painted parging on the front addition only
- e. Roof: shape: front section is side gable; rear sections are low-pitched cross gable
materials: metal
cornice: N/A
dormers: N/A
chimney: location(s): N/A

8. DESCRIPTION OF ELEVATIONS:

- a. Facade: Direction: SW
 - 1) Bays 3
 - 2) Windows
 - fenestration regular
 - type large fixed pane commercial
 - trim flat
 - shutters N/A

Facade (cont'd)

- 3) **Door(s)**
 location Front door is central in façade; garage doors are in the northern half of the facade
 type glass commercial entrance door; two sliding garage doors
 trim flat
- 4) **Porch(es)** N/A

b. Side: Direction: SE

- 1) **Bays** 8
- 2) **Windows**
 fenestration irregular
 type fixed; 8/8 and 1/1 double hung sash
 trim flat
 shutters N/A
- 3) **Door(s)**
 location 4, one in the middle block and three spaced evenly along the rear block
 type glass commercial doors
 trim flat
- 4) **Porch(es)** Awnings shelter the two main entrances on this elevation.

c. Side: Direction: NW (partially obscured by fence and cars)

- 1) **Bays** 8
- 2) **Windows**
 fenestration regular
 type 8/8 hung sash; small fixed pane
 trim wide
 shutters N/A
- 3) **Door(s)**
 location on the central block there appears to be a garage door
 type sliding garage door
 trim flat
- 4) **Porch(es)** N/A

d. Rear: Direction: NE

- 1) **Bays** 2
- 2) **Windows**
 fenestration N/A
 type N/A
 trim N/A
 shutters N/A
- 3) **Door(s)**
 location N/A
 type N/A
 trim N/A
- 4) **Porch(es)** N/A

9. INTERIOR: Unknown

10. **LANDSCAPING:** The area around the building is paved for parking, and a strip of grass separates the property from the roadways surrounding it.



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
SECONDARY BUILDING FORM

CRS # S13306

1. ADDRESS/LOCATION: 33711 Wescoats Road, Lewes, DE 19958

2. FUNCTION(S): historic Shed current Shed

3. YEAR BUILT: 2001 CIRCA?: ARCHITECT/BUILDER: Unknown

4. STYLE/FLOOR PLAN: _____

5. INTEGRITY: original site moved

if moved, from where original location's CRS # year

list major alterations and additions with years (if known) year

- a. _____
- b. _____

6. CURRENT CONDITION: excellent good fair poor

7. DESCRIPTION:

- a. Structural system frame
- b. Number of stories 1
- c. Wall coverings vinyl siding
- d. Foundation not visible
- e. Roof
structural system frame, gambrel
coverings asphalt
openings N/A

8. DESCRIPTION OF ELEVATIONS:

- a. Facade: direction: SW
 - 1) bays: 1
 - 2) windows: N/A
 - 3) door(s): double-door opening but doors not seen
 - 4) other: N/A

b. Side: direction: NW

- 1) bays: N/A
- 2) windows: N/A
- 3) door(s): N/A
- 4) other: N/A

c. Side: direction: SE (not visible)

- 1) bays: N/A
- 2) windows: N/A
- 3) door(s): N/A
- 4) other: N/A

d. Rear: direction: NE (not visible)

- 1) bays: 1
- 2) windows: N/A
- 3) door(s): N/A
- 4) other: N/A

9. INTERIOR (if accessible):

- a) Floor plan N/A

- b) Partition/walls N/A

- c) Finishes N/A

- d) Furnishings/machinery N/A



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
SECONDARY BUILDING FORM

CRS # S13306

1. ADDRESS/LOCATION: 33711 Wescoats Road, Lewes, DE 19958

2. FUNCTION(S): historic Shed current Shed

3. YEAR BUILT: 2012 CIRCA?: ARCHITECT/BUILDER: Unknown

4. STYLE/FLOOR PLAN: _____

5. INTEGRITY: original site moved

if moved, from where original location's CRS # year

list major alterations and additions with years (if known) year

- a.
- b.

6. CURRENT CONDITION: excellent good fair poor

7. DESCRIPTION:

- a. Structural system frame
- b. Number of stories 1
- c. Wall coverings vinyl siding
- d. Foundation not visible
- e. Roof
structural system frame, gable
coverings asphalt
openings N/A

8. DESCRIPTION OF ELEVATIONS:

- a. Facade: direction: SW (obscured by fence, overgrowth, and cars)
 - 1) bays: 1
 - 2) windows: N/A
 - 3) door(s): N/A
 - 4) other: N/A

b. Side: direction: NW

- 1) bays: N/A
- 2) windows: N/A
- 3) door(s): N/A
- 4) other: N/A

c. Side: direction: SE (not visible)

- 1) bays: N/A
- 2) windows: N/A
- 3) door(s): N/A
- 4) other: N/A

d. Rear: direction: NE (not visible)

- 1) bays: 1
- 2) windows: N/A
- 3) door(s): N/A
- 4) other: N/A

9. INTERIOR (if accessible):

- a) Floor plan N/A

- b) Partition/walls N/A

- c) Finishes N/A

- d) Furnishings/machinery N/A



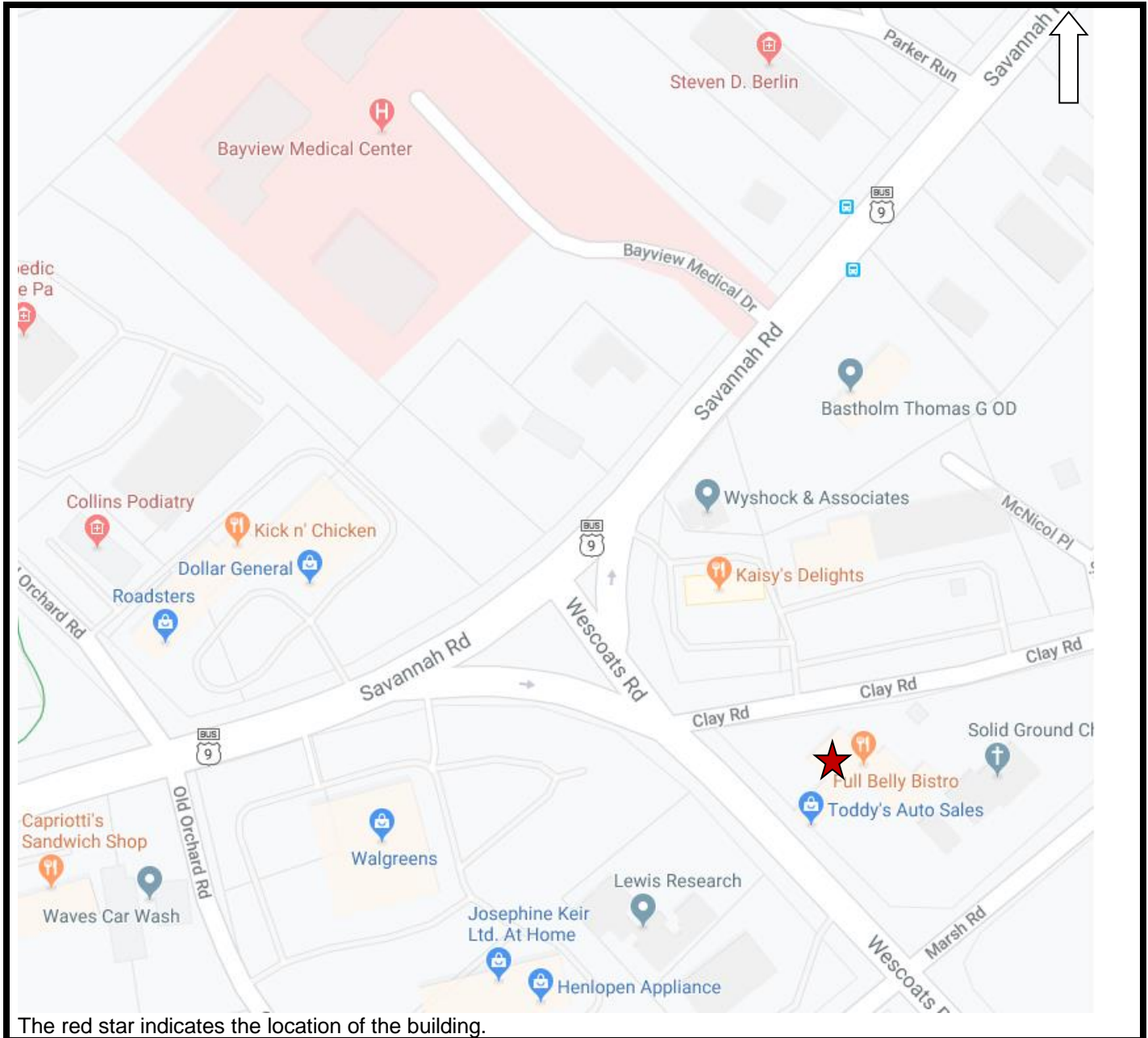
DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
MAP FORM

CRS # S13306

1. ADDRESS/LOCATION: 33711 Wescoats Road, Lewes, DE 19958
2. NOT FOR PUBLICATION reason: _____
3. LOCATION MAP:
Indicate position of resource in relation to geographical landmarks such as streams and crossroads.
(insert section of USGS quad map or aerial photograph with location marked)

INDICATE NORTH ON SKETCH



The red star indicates the location of the building.

4. SITE PLAN:

(insert aerial photograph or map showing relationship of buildings, driveway, outbuildings, fences, etc., to each other; label elements as needed; add other pages as needed)

INDICATE NORTH ON PLAN





CULTURAL RESOURCE SURVEY
DIGITAL PHOTOGRAPHS FORM

CRS # S13306

Date January 2020 Surveyor/Photographer Alexandra Tarantino & Maureen McCoy

Insert photographs; note file name and brief description of view:
(size photograph 3" on longest side; MAINTAIN ASPECT RATIO – DO NOT STRETCH PHOTO)



S13306 001 – View of the property looking north from Wescoats Road



S13306 002 – View of the property looking east from Wescoats Road



S13306 003 – View of the north elevation of the Full Belly Bistro section of the property



S13306 004 – View of the rear (east) elevation of the C.J.'s Beach Bays Service Center section of the property



S13306 005 – View of the rear (east) elevation of the property, including the rear of the Fully Belly Bistro section of the building



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CRS # S13307
SPO Map 20-21-12
Lewes &
Hundred Rehoboth
Quad Lewes
Other _____

CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

- HISTORIC NAME/FUNCTION: Dwelling
- ADDRESS/LOCATION: 1543 Savannah Road, Lewes, DE 19958
- TOWN/NEAREST NAMED PLACE: Lewes vicinity?
- MAIN TYPE OF RESOURCE: building structure site object
landscape district
- MAIN FUNCTION OF PROPERTY: Single family residence
- PROJECT TITLE/ REASON FOR SURVEY (if applicable):

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
1	CRS 2 Main Building Form	house
	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
1	CRS 9 Map Form	N/A
1	CRS 13 Photographs Form	N/A
	CRS 14 Proposed District Form	
	CRS 15 Structure (Bridge) Form	

8. SURVEYOR INFORMATION:

Surveyor name: Maureen McCoy

Principal Investigator name: Maureen McCoy

Principal Investigator signature: Maureen R McCoy

Organization: Delaware Department of Transportation Date: 07/16/2020

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes; refer to state management plan(s)):

a) Time period(s)

- Pre-European Contact
- Paleo-Indian
- Archaic
- Woodland I
- Woodland II

- 1600-1750± Contact Period (Native American)
- 1630-1730± Exploration and Frontier Settlement
- 1730-1770± Intensified and Durable Occupation
- 1770-1830± Early Industrialization
- 1830-1880± Industrialization and Early Urbanization
- 1880-1940± Urbanization and Early Suburbanization
- 1940-1960± Suburbanization and Early Ex-urbanization

b) Geographical zone

- Piedmont
- Upper Peninsula
- Lower Peninsula/Cypress Swamp
- Coastal
- Urban (City of Wilmington)

c) Historic period theme(s)

- | | |
|--|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Transportation and Communication |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Settlement Patterns and Demographic Changes |
| <input type="checkbox"/> Trapping/Hunting | <input checked="" type="checkbox"/> Architecture, Engineering and Decorative Arts |
| <input type="checkbox"/> Mining/Quarrying | <input type="checkbox"/> Government |
| <input type="checkbox"/> Fishing/Oystering | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Manufacturing | <input type="checkbox"/> Education |
| <input type="checkbox"/> Retailing/Wholesaling | <input type="checkbox"/> Community Organizations |
| <input type="checkbox"/> Finance | <input type="checkbox"/> Occupational Organizations |
| <input type="checkbox"/> Professional Services | <input type="checkbox"/> Major Families, Individuals and Events |



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # S13307

1. ADDRESS/LOCATION: 1543 Savannah Road, Lewes, DE 19958

2. FUNCTION(S): historic Single family residence current Single family residence

3. YEAR BUILT: 1950 CIRCA?: ARCHITECT/BUILDER: N/A

4. STYLE OR FLOOR PLAN: Minimal Traditional

5. INTEGRITY: original site moved

if moved, from where other location's CRS # year

list major alterations and additions with years (if known) year

a. enlarged porch 1986

b. attached garage 2001

6. CURRENT CONDITION: excellent good fair poor

7. DESCRIPTION: (Describe the resource as completely as possible. Use N/A for not applicable; leave no blanks.)

a. Overall shape: rectangular Stories: 1.5
Additions: garage

b. Structural system (if known): frame

c. Foundation: materials: concrete
basement: full partial not visible no basement

d. Exterior walls (original if visible & any subsequent coverings): wooden shingles

e. Roof: shape: cross gable
materials: asphalt shingle
cornice: N/A
dormers: Gable dormers on the east elevation of garage addition
chimney: location(s): North elevation exterior, brick

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: E
1) Bays 6
2) Windows
fenestration irregular
type 6/6 double hung sash
trim wide, wooden
shutters N/A

Facade (cont'd)

- 3) **Door(s)**
 location three pairs of sliding doors are located on the enclosed porch; two garage doors and one entrance door are located on the recessed addition
 type sliding glass doors; two vinyl garage doors on the recessed addition; one paneled vinyl door with a 9-pane window
 trim wide, vinyl
- 4) **Porch(es)** An enclosed porch with a shed roof is located on the section of the house closest to the road.
- b. **Side: Direction: N (partially obscured)**
- 1) **Bays** 3
- 2) **Windows**
 fenestration irregular
 type not visible
 trim wide, wooden
 shutters N/A
- 3) **Door(s)**
 location on the enclosed porch
 type sliding glass doors
 trim N/A
- 4) **Porch(es)** N/A
- c. **Side: Direction: S**
- 1) **Bays** 5
- 2) **Windows**
 fenestration regular
 type 6/6 double hung sash
 trim wide, wooden
 shutters N/A
- 3) **Door(s)**
 location central in an enclosed portico
 type vinyl screen door on exterior; interior door is not visible
 trim N/A
- 4) **Porch(es)** N/A
- d. **Rear: Direction: W (not visible from public right-of-way)**
- 1) **Bays** Unknown
- 2) **Windows**
 fenestration Unknown
 type Unknown
 trim Unknown
 shutters Unknown
- 3) **Door(s)**
 location Unknown
 type Unknown
 trim Unknown
- 4) **Porch(es)** Unknown

9. **INTERIOR:** Unknown

10. **LANDSCAPING:** Several large trees stand between the house and the road. Otherwise, the front yard is cleared.



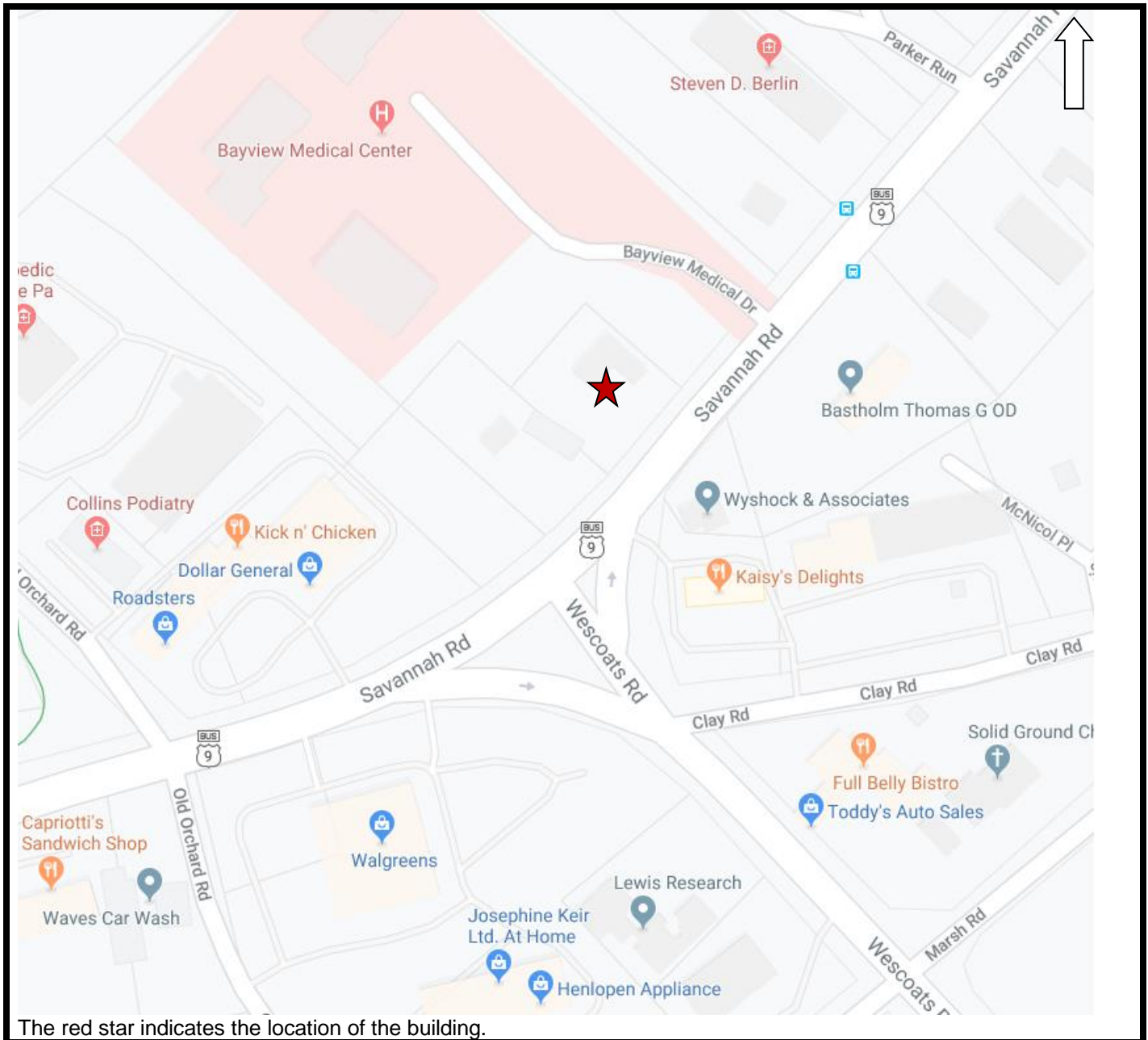
DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
MAP FORM

CRS # S13307

1. ADDRESS/LOCATION: 1543 Savannah Road, Lewes, DE 19958
2. NOT FOR PUBLICATION reason: _____
3. LOCATION MAP:
Indicate position of resource in relation to geographical landmarks such as streams and crossroads.
(insert section of USGS quad map or aerial photograph with location marked)

INDICATE NORTH ON SKETCH





CULTURAL RESOURCE SURVEY
DIGITAL PHOTOGRAPHS FORM

CRS # S13307

Date January 2020 Surveyor/Photographer Alexandra Tarantino & Maureen McCoy

Insert photographs; note file name and brief description of view:
(size photograph 3" on longest side; MAINTAIN ASPECT RATIO – DO NOT STRETCH PHOTO)



S13307 001 – View of the primary (east) façade of the property



S13307 002 – Detail view of the primary (east) façade and the north elevation



S13307 003 – Detail view of the recessed section of the house and the south elevations



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CRS # S13308
SPO Map 20-21-12
Hundred Lewes & Rehoboth
Quad Lewes
Other _____

CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

1. HISTORIC NAME/FUNCTION: Dwelling
2. ADDRESS/LOCATION: 33823 Clay Road, Lewes, DE 19958
3. TOWN/NEAREST NAMED PLACE: Lewes vicinity?
4. MAIN TYPE OF RESOURCE:

building	<input checked="" type="checkbox"/>	structure	<input type="checkbox"/>	site	<input type="checkbox"/>	object	<input type="checkbox"/>
landscape	<input type="checkbox"/>	district	<input type="checkbox"/>				
5. MAIN FUNCTION OF PROPERTY: Single family residence
6. PROJECT TITLE/ REASON FOR SURVEY (if applicable):

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
1	CRS 2 Main Building Form	house
	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
1	CRS 9 Map Form	N/A
1	CRS 13 Photographs Form	N/A
	CRS 14 Proposed District Form	
	CRS 15 Structure (Bridge) Form	

8. SURVEYOR INFORMATION:

Surveyor name: Maureen McCoy

Principal Investigator name: Maureen McCoy

Principal Investigator signature: *Maureen R McCoy*

Organization: Delaware Department of Transportation Date: 07/16/2020

9. OTHER NOTES OR OBSERVATIONS:

CRS# S13308

There are several sheds and outbuildings on the property behind the main house. These could not be surveyed closely due to vehicles and other large objects in the large gravel parking area next to the house. Most of these are modern structures. In 1992 and 1997 aeriels images, there does appear to be a garage at the northeast corner of the house, which may be the same structure seen in 1968 aeriels. However, closer inspection was not possible from the public right-of-way.

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes; refer to state management plan(s)):

a) Time period(s)

- Pre-European Contact
- Paleo-Indian
- Archaic
- Woodland I
- Woodland II

- 1600-1750± Contact Period (Native American)
- 1630-1730± Exploration and Frontier Settlement
- 1730-1770± Intensified and Durable Occupation
- 1770-1830± Early Industrialization
- 1830-1880± Industrialization and Early Urbanization
- 1880-1940± Urbanization and Early Suburbanization
- 1940-1960± Suburbanization and Early Ex-urbanization

b) Geographical zone

- Piedmont
- Upper Peninsula
- Lower Peninsula/Cypress Swamp
- Coastal
- Urban (City of Wilmington)

c) Historic period theme(s)

- | | |
|--|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Transportation and Communication |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Settlement Patterns and Demographic Changes |
| <input type="checkbox"/> Trapping/Hunting | <input checked="" type="checkbox"/> Architecture, Engineering and Decorative Arts |
| <input type="checkbox"/> Mining/Quarrying | <input type="checkbox"/> Government |
| <input type="checkbox"/> Fishing/Oystering | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Manufacturing | <input type="checkbox"/> Education |
| <input type="checkbox"/> Retailing/Wholesaling | <input type="checkbox"/> Community Organizations |
| <input type="checkbox"/> Finance | <input type="checkbox"/> Occupational Organizations |
| <input type="checkbox"/> Professional Services | <input type="checkbox"/> Major Families, Individuals and Events |



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # S13308

1. ADDRESS/LOCATION: 33823 Clay Road, Lewes, DE 19958

2. FUNCTION(S): historic Single family residence current Single family residence

3. YEAR BUILT: 1950 CIRCA?: ARCHITECT/BUILDER: N/A

4. STYLE OR FLOOR PLAN: Minimal Traditional

5. INTEGRITY: original site moved

if moved, from where other location's CRS # year

list major alterations and additions with years (if known) year

a.

b.

6. CURRENT CONDITION: excellent good fair poor

7. DESCRIPTION: (Describe the resource as completely as possible. Use N/A for not applicable; leave no blanks.)

a. Overall shape: rectangular Stories: 1
Additions:

b Structural system (if known): frame

c. Foundation: materials: not visible
basement: full partial not visible no basement

d. Exterior walls (original if visible & any subsequent coverings): parging

e. Roof: shape: gable
materials: asphalt shingle
cornice: N/A
dormers: N/A
chimney: location(s): West elevation exterior

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: S

1) Bays 3

2) Windows

fenestration regular
type 1/1 double-hung sash; 1 triple window and central fixed pane
trim wide
shutters awnings over the windows

Facade (cont'd)

- 3) **Door(s)**
 location **central in façade**
 type **not visible**
 trim **not visible**
- 4) **Porch(es)** **There is a small porch shaded by the overhanging roof in front of door.**

b. Side: Direction: W (partially obscured by trees and fence)

- 1) **Bays** **3**
- 2) **Windows**
 fenestration **regular**
 type **not visible**
 trim **not visible**
 shutters **awnings over the windows and door**
- 3) **Door(s)**
 location **central**
 type **not visible**
 trim **wide**
- 4) **Porch(es)** **N/A**

c. Side: Direction: E

- 1) **Bays** **2**
- 2) **Windows**
 fenestration **regular**
 type **1/1 double hung sash**
 trim **wide**
 shutters **awnings over the windows**
- 3) **Door(s)**
 location **N/A**
 type **N/A**
 trim **N/A**
- 4) **Porch(es)** **N/A**

d. Rear: Direction: N (not visible from public right-of-way)

- 1) **Bays** **Unknown**
- 2) **Windows**
 fenestration **Unknown**
 type **Unknown**
 trim **Unknown**
 shutters **Unknown**
- 3) **Door(s)**
 location **Unknown**
 type **Unknown**
 trim **Unknown**
- 4) **Porch(es)** **Unknown**

9. INTERIOR: Unknown

10. **LANDSCAPING:** There are several large trees along the southwestern part of the property, which obscure many of the features. There are also several modern sheds and outbuildings on the property behind the main house. These could not be surveyed closely due to vehicles and other large objects in the large gravel parking area next to the house.



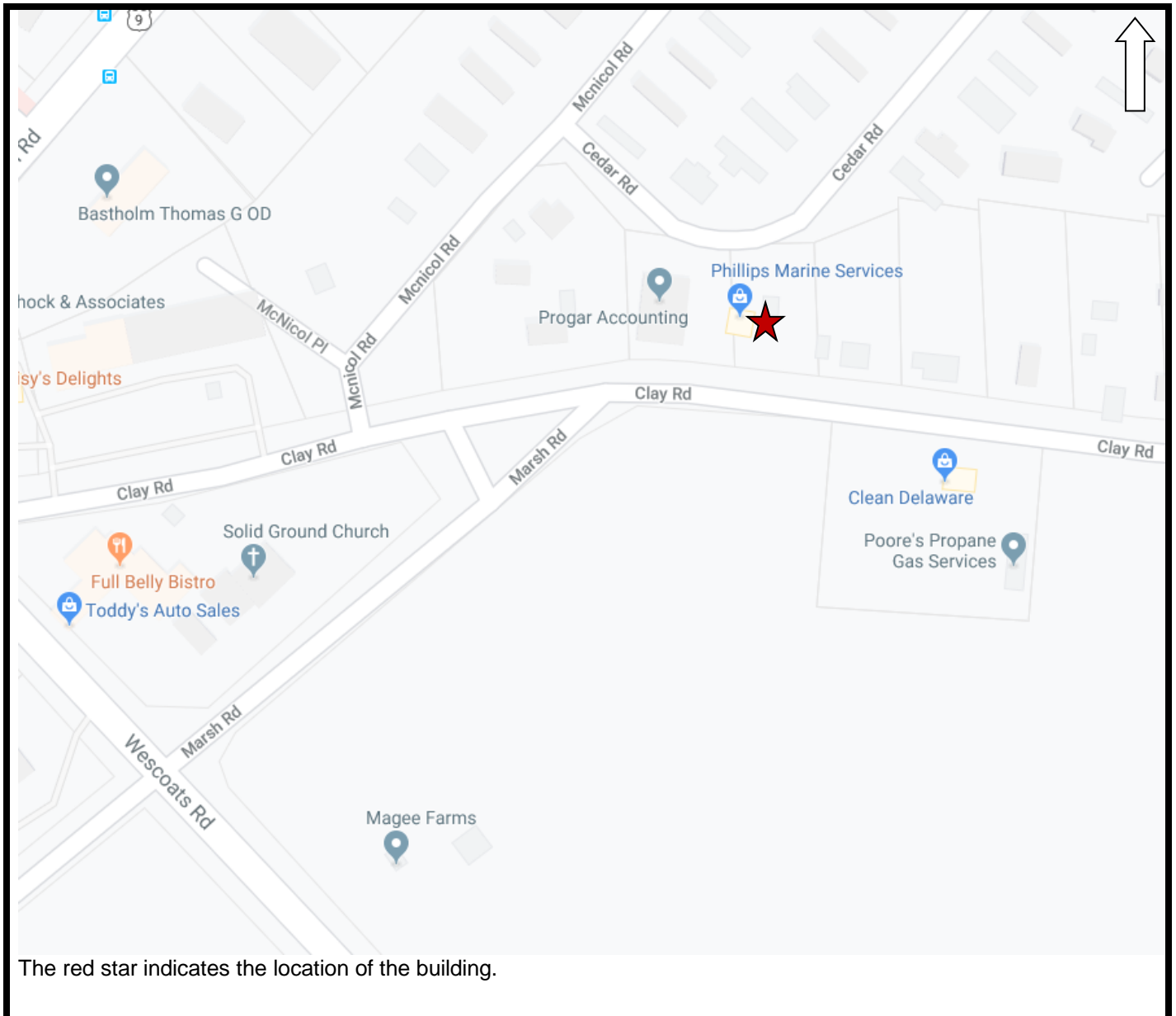
DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
MAP FORM

CRS # S13308

1. ADDRESS/LOCATION: 33823 Clay Road, Lewes, DE 19958
2. NOT FOR PUBLICATION reason: _____
3. LOCATION MAP:
Indicate position of resource in relation to geographical landmarks such as streams and crossroads.
(insert section of USGS quad map or aerial photograph with location marked)

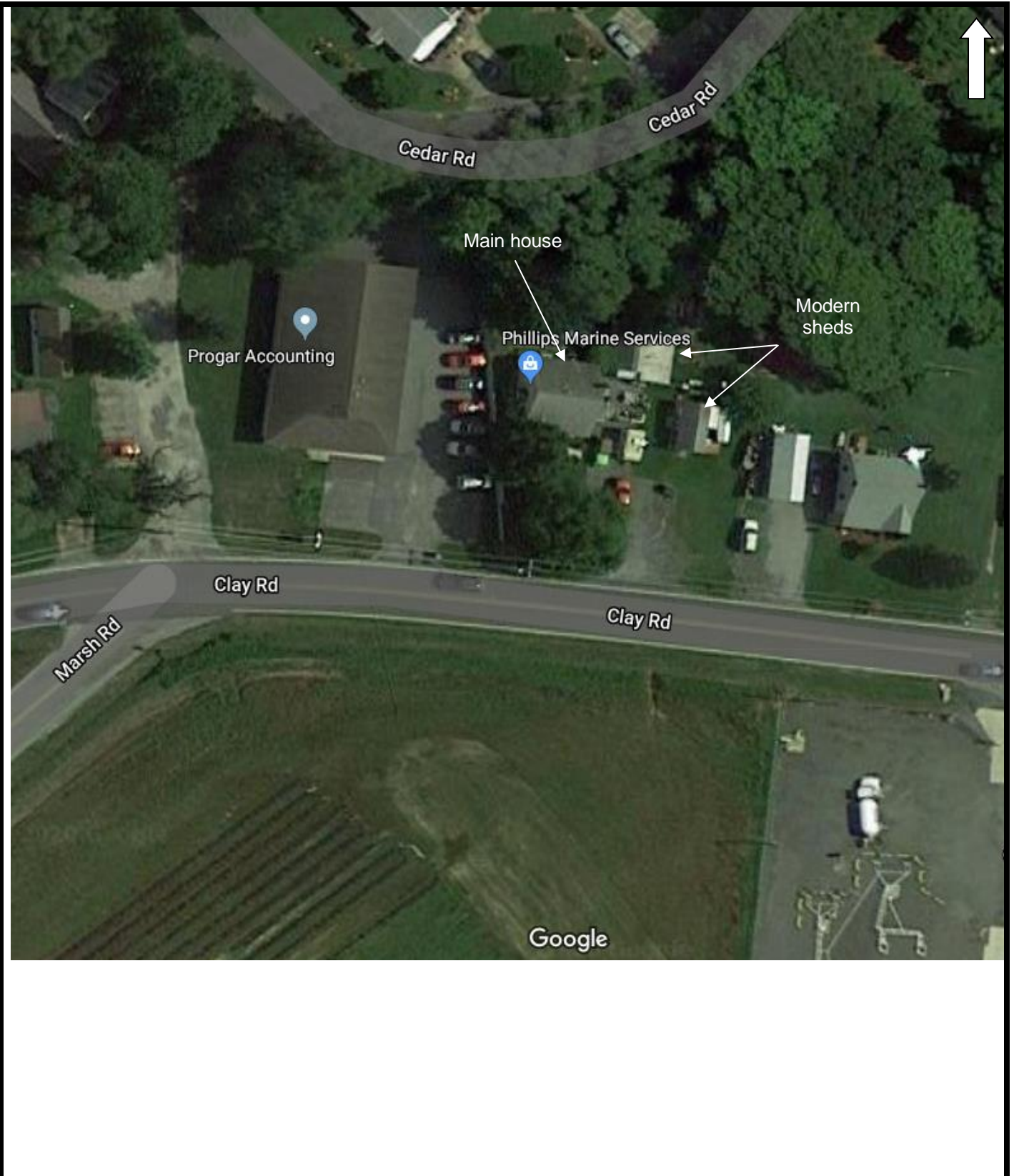
INDICATE NORTH ON SKETCH



4. SITE PLAN:

(insert aerial photograph or map showing relationship of buildings, driveway, outbuildings, fences, etc., to each other; label elements as needed; add other pages as needed)

INDICATE NORTH ON PLAN





CULTURAL RESOURCE SURVEY
DIGITAL PHOTOGRAPHS FORM

CRS # S13308

Date January 2020 Surveyor/Photographer Alexandra Tarantino & Maureen McCoy

Insert photographs; note file name and brief description of view:
(size photograph 3" on longest side; MAINTAIN ASPECT RATIO – DO NOT STRETCH PHOTO)



S13308 001 – View of the property's primary (south) façade looking north from Clay Road



S13308 002 – View of the property looking northwest from Clay Road



S13308 003 – View of the west elevation of the main house, which is largely obscured



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CRS # S13327
SPO Map 20-21-12
Lewes &
Hundred Rehoboth
Quad Lewes
Other _____

CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

- HISTORIC NAME/FUNCTION: Dwelling
- ADDRESS/LOCATION: 33837 Clay Road, Lewes, DE 19958
- TOWN/NEAREST NAMED PLACE: Lewes vicinity?
- MAIN TYPE OF RESOURCE: building structure site object
landscape district
- MAIN FUNCTION OF PROPERTY: Single family residence
- PROJECT TITLE/ REASON FOR SURVEY (if applicable):

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
1	CRS 2 Main Building Form	house
1	CRS 3 Secondary Building Form	garage
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
1	CRS 9 Map Form	N/A
1	CRS 13 Photographs Form	N/A
	CRS 14 Proposed District Form	
	CRS 15 Structure (Bridge) Form	

8. SURVEYOR INFORMATION:

Surveyor name: Maureen McCoy

Principal Investigator name: Maureen McCoy

Principal Investigator signature: Maureen R McCoy

Organization: Delaware Department of Transportation Date: 07/16/2020

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes; refer to state management plan(s)):

a) Time period(s)

- Pre-European Contact
- Paleo-Indian
- Archaic
- Woodland I
- Woodland II
- 1600-1750± Contact Period (Native American)
- 1630-1730± Exploration and Frontier Settlement
- 1730-1770± Intensified and Durable Occupation
- 1770-1830± Early Industrialization
- 1830-1880± Industrialization and Early Urbanization
- 1880-1940± Urbanization and Early Suburbanization
- 1940-1960± Suburbanization and Early Ex-urbanization

b) Geographical zone

- Piedmont
- Upper Peninsula
- Lower Peninsula/Cypress Swamp
- Coastal
- Urban (City of Wilmington)

c) Historic period theme(s)

- | | |
|--|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Transportation and Communication |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Settlement Patterns and Demographic Changes |
| <input type="checkbox"/> Trapping/Hunting | <input checked="" type="checkbox"/> Architecture, Engineering and Decorative Arts |
| <input type="checkbox"/> Mining/Quarrying | <input type="checkbox"/> Government |
| <input type="checkbox"/> Fishing/Oystering | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Manufacturing | <input type="checkbox"/> Education |
| <input type="checkbox"/> Retailing/Wholesaling | <input type="checkbox"/> Community Organizations |
| <input type="checkbox"/> Finance | <input type="checkbox"/> Occupational Organizations |
| <input type="checkbox"/> Professional Services | <input type="checkbox"/> Major Families, Individuals and Events |



DELAWARE DIVISION OF HISTORICAL AND CULTURAL AFFAIRS
STATE HISTORIC PRESERVATION OFFICE
21 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # S13327

1. ADDRESS/LOCATION: 33837 Clay Road, Lewes, DE 19958
2. FUNCTION(S): historic Single family residence current Single family residence
3. YEAR BUILT: 1950 CIRCA?: ARCHITECT/BUILDER: N/A
4. STYLE OR FLOOR PLAN: Minimal Traditional
5. INTEGRITY: original site moved
if moved, from where other location's CRS # year

list major alterations and additions with years (if known) year

a.

b.

6. CURRENT CONDITION: excellent good fair poor
7. DESCRIPTION: (Describe the resource as completely as possible. Use N/A for not applicable; leave no blanks.)
- a. Overall shape: rectangular Stories: 1.5
Additions:
- b. Structural system (if known): frame
- c. Foundation: materials: concrete
basement: full partial not visible no basement
- d. Exterior walls (original if visible & any subsequent coverings): vinyl siding
- e. Roof: shape: gable on main block with a flared eave to cover the front porch
materials: asphalt shingle
cornice: N/A
dormers: N/A
chimney: location(s): West elevation exterior, cinder block

8. DESCRIPTION OF
ELEVATIONS:

- a. Facade: Direction: S
- 1) Bays 4
- 2) Windows
fenestration regular
type 1/1 double-hung sash
trim thin, vinyl
shutters N/A

Facade (cont'd)

- 3) **Door(s)**
 location **central in façade**
 type **vinyl with large window**
 trim **wide**

- 4) **Porch(es)** **The porch is defined with squared posts and railings and is approached from the west by two concrete steps. The roof is flared out to cover the area.**

b. Side: Direction: E

- 1) **Bays** **2**
- 2) **Windows**
 fenestration **irregular**
 type **1/1 double-hung sash**
 trim **thin**
 shutters **N/A**
- 3) **Door(s)**
 location **N/A**
 type **N/A**
 trim **N/A**
- 4) **Porch(es)** **N/A**

c. Side: Direction: W

- 1) **Bays** **2**
- 2) **Windows**
 fenestration **regular**
 type **1/1 double hung sash**
 trim **thin**
 shutters **N/A**
- 3) **Door(s)**
 location **N/A**
 type **N/A**
 trim **N/A**
- 4) **Porch(es)** **N/A**

d. Rear: Direction: N (not visible from public right-of-way)

- 1) **Bays** **Unknown**
- 2) **Windows**
 fenestration **Unknown**
 type **Unknown**
 trim **Unknown**
 shutters **Unknown**
- 3) **Door(s)**
 location **Unknown**
 type **Unknown**
 trim **Unknown**
- 4) **Porch(es)** **Unknown**

9. INTERIOR: Unknown

10. **LANDSCAPING:** There are some shrubs and small trees up against each elevation of the house. Otherwise, the front yard is cleared.



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CULTURAL RESOURCE SURVEY
SECONDARY BUILDING FORM

CRS # S13327

1. ADDRESS/LOCATION: 33805 Clay Road, Lewes, DE 19958

2. FUNCTION(S): historic garage current garage

3. YEAR BUILT: 1950s CIRCA?: ARCHITECT/BUILDER: N/A

4. STYLE/FLOOR PLAN: Rectangular

5. INTEGRITY: original site moved

if moved, from where original location's CRS # year

list major alterations and additions with years (if known) year

- a.
- b.

6. CURRENT CONDITION: excellent good fair poor

7. DESCRIPTION:

- a. Structural system frame
- b. Number of stories 1
- c. Wall coverings wooden horizontal siding
- d. Foundation not visible
- e. Roof
structural system gable, frame with overhanging rafter tails
coverings metal
openings N/A

8. DESCRIPTION OF ELEVATIONS:

- a. Facade: direction: S
 - 1) bays: 1
 - 2) windows: N/A
 - 3) door(s): one central garage door
 - 4) other: N/A

- b. Side: direction: E
- 1) bays: 3
 - 2) windows: 2-pane vertical with wide trim
 - 3) door(s): paneled door; appears to be wood
 - 4) other: N/A
- c. Side: direction: W
- 1) bays: 2
 - 2) windows: 1/1 double hung sash
 - 3) door(s): Screen door
 - 4) other: N/A
- d. Rear: direction: N (not visible)
- 1) bays: N/A
 - 2) windows: N/A
 - 3) door(s): N/A
 - 4) other: N/A

9. INTERIOR (if accessible):

- a) Floor plan N/A
- b) Partition/walls N/A
- c) Finishes N/A
- d) Furnishings/machinery N/A



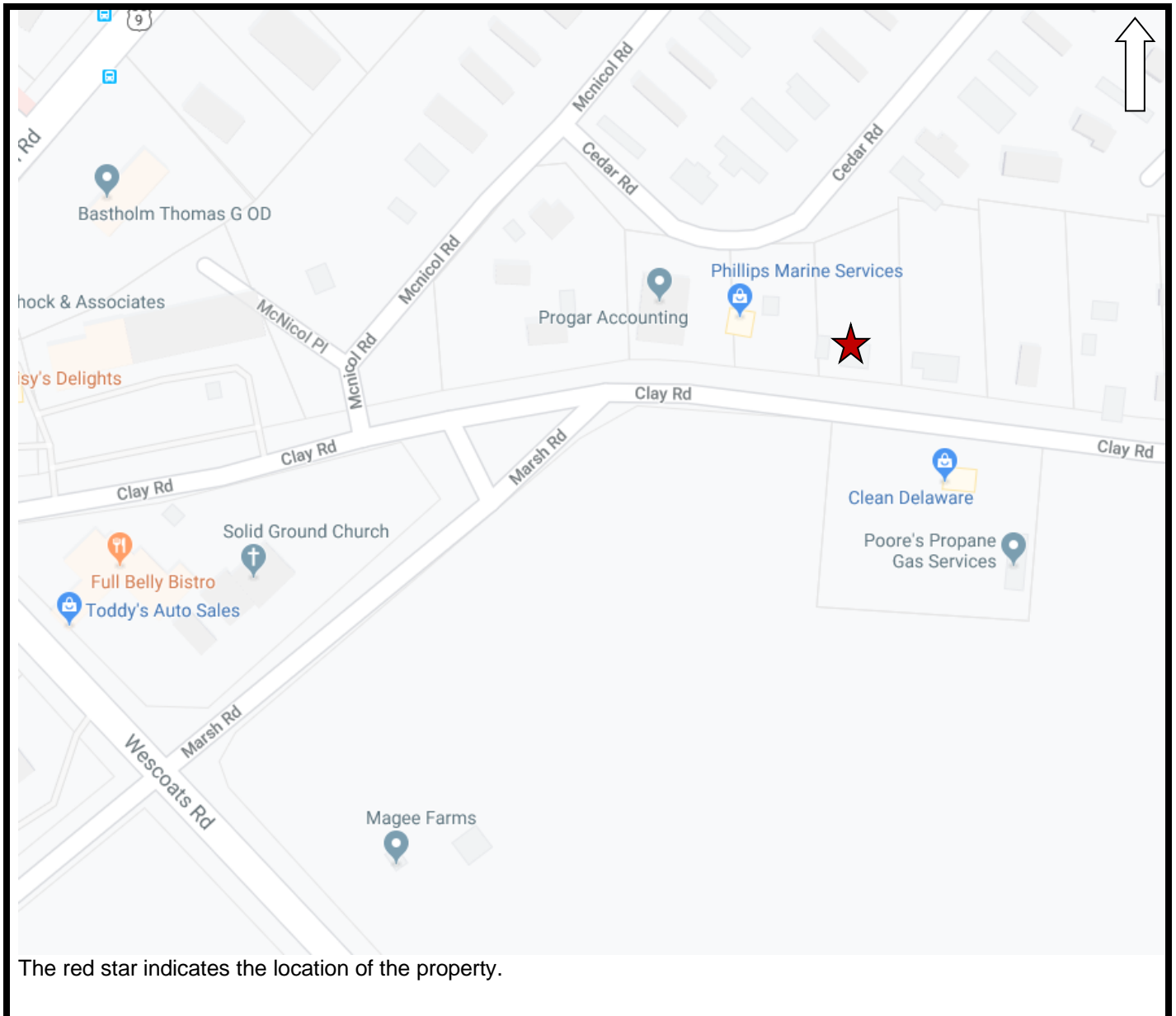
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CULTURAL RESOURCE SURVEY
MAP FORM

CRS # S13327

1. ADDRESS/LOCATION: 33837 Clay Road, Lewes, DE 19958
2. NOT FOR PUBLICATION reason: _____
3. LOCATION MAP:
Indicate position of resource in relation to geographical landmarks such as streams and crossroads.
(insert section of USGS quad map or aerial photograph with location marked)

INDICATE NORTH ON SKETCH



4. SITE PLAN:

(insert aerial photograph or map showing relationship of buildings, driveway, outbuildings, fences, etc., to each other; label elements as needed; add other pages as needed)

INDICATE NORTH ON PLAN





CULTURAL RESOURCE SURVEY
DIGITAL PHOTOGRAPHS FORM

CRS # S13327

Date January 2020 Surveyor/Photographer Alexandra Tarantino & Maureen McCoy

Insert photographs; note file name and brief description of view:
(size photograph 3" on longest side; MAINTAIN ASPECT RATIO – DO NOT STRETCH PHOTO)



S13327 001 – View of the property looking northeast from Clay Road



S13327 002 – View of the property looking north from Clay Road



S13327 003 – Detail view of the primary (south) façade of the main house



S13327 004 – Detail view of the primary (south) façade of the detached garage



S13327 005 – View of the east elevation of the detached garage