

BERM STAKE OUT DATA

POINT	STATION	OFFSET	NORTHING	EASTING	REMARKS
1	16+41.51	369.89 LT	544926.69	572842.35	POB BERM B
2	16+96.22	400.11 LT	544966.36	572890.65	PCC BERM B
3	17+48.95	460.03 LT	545034.88	572931.60	PT BERM B
4	17+69.73	495.15 LT	545073.19	572945.64	PC BERM B
5	17+96.17	587.33 LT	545168.65	572954.87	PCC BERM B
6	17+99.23	671.58 LT	545252.05	572942.55	PT BERM B
7	17+97.92	700.86 LT	545280.60	572935.94	PC BERM B
8	17+79.49	767.92 LT	545343.19	572905.61	PCC BERM B
9	16+90.55	852.84 LT	545410.51	572802.70	PCC BERM B
10	16+45.64	864.75 LT	545414.04	572756.38	POE BERM B
11	15+16.02	967.33 LT	545491.33	572610.26	POT BERM A
12	25+80.44	722.41 LT	545444.17	573701.48	PC BERM A
13	26+19.23	674.38 LT	545404.00	573748.35	PT BERM A
14	26+26.07	183.39 LT	544922.44	573844.42	POE BERM A
15	19+82.59	548.81 LT	545164.69	573145.19	POB BERM C
16	20+07.93	587.99 LT	545207.82	573162.97	PC BERM C
17	21+10.06	641.39 LT	545278.91	573253.68	PCC BERM C
18	22+44.85	609.31 LT	545271.90	573392.06	PT BERM C
19	23+20.07	574.45 LT	545251.30	573472.37	PC BERM C
20	23+82.52	548.61 LT	545237.25	573538.48	PRC BERM C
21	24+82.53	476.55 LT	545184.59	573649.93	PCC BERM C
22	24+91.87	418.35 LT	545129.07	573669.71	PT BERM C
23	24+71.42	363.03 LT	545070.95	573659.66	POE BERM C

RIGHT-OF-WAY MONUMENT SCHEDULE

NO.	STATION	OFFSET	NORTHING	EASTING
M-1	10+59.05	32.13' LT	544488.5937	572331.0730
M-2	14+30.50	1022.56' LT	545530.0767	572516.1172
M-3	26+54.23	23.11' LT	544770.1170	573901.1012
M-4	26+56.74	767.29' LT	545502.1740	573768.3292

HORIZONTAL / VERTICAL CONTROL DATA

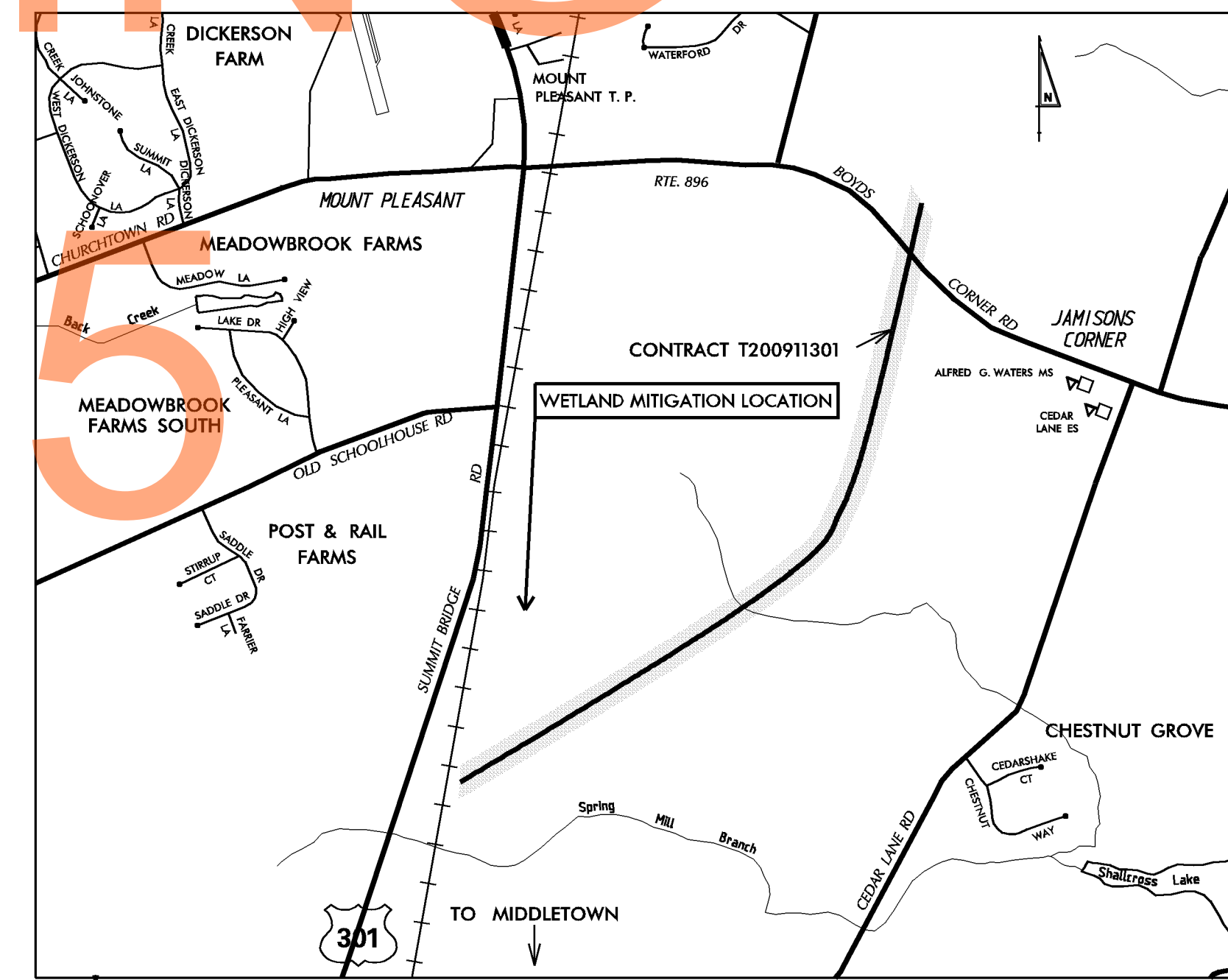
NO.	NORTHING	EASTING	ELEVATION
100001	545518.1780	572516.7934	65.97
100057	544490.6594	572329.4492	68.13

CONSTRUCTION ALIGNMENT CONTROL-B CONSTRUCTION

POINT	STATION	OFFSET	NORTHING	EASTING
POB	10+00.00	0.00	544446.2603	572278.8523
POE	27+00.00	0.00	544755.5659	573950.4772

CONSTRUCTION ALIGNMENT CONTROL-C ACCESS ROAD

POINT	STATION	OFFSET	NORTHING	EASTING
POB	50+00.00	0.00	544466.5855	572388.6989
PC	51+30.42	0.00	544595.6556	572370.0056
PI	51+46.54	1.29 LT	544611.6101	572367.6949
PT	51+62.38	0.00	544627.4825	572370.5150
PC	60+08.51	0.00	545460.5573	572518.5306
PI	60+43.52	13.16 LT	545495.0348	572524.6563
PT	60+66.03	0.00	545493.5227	572559.6411
POE	61+16.03	0.00	545491.3636	572609.5945



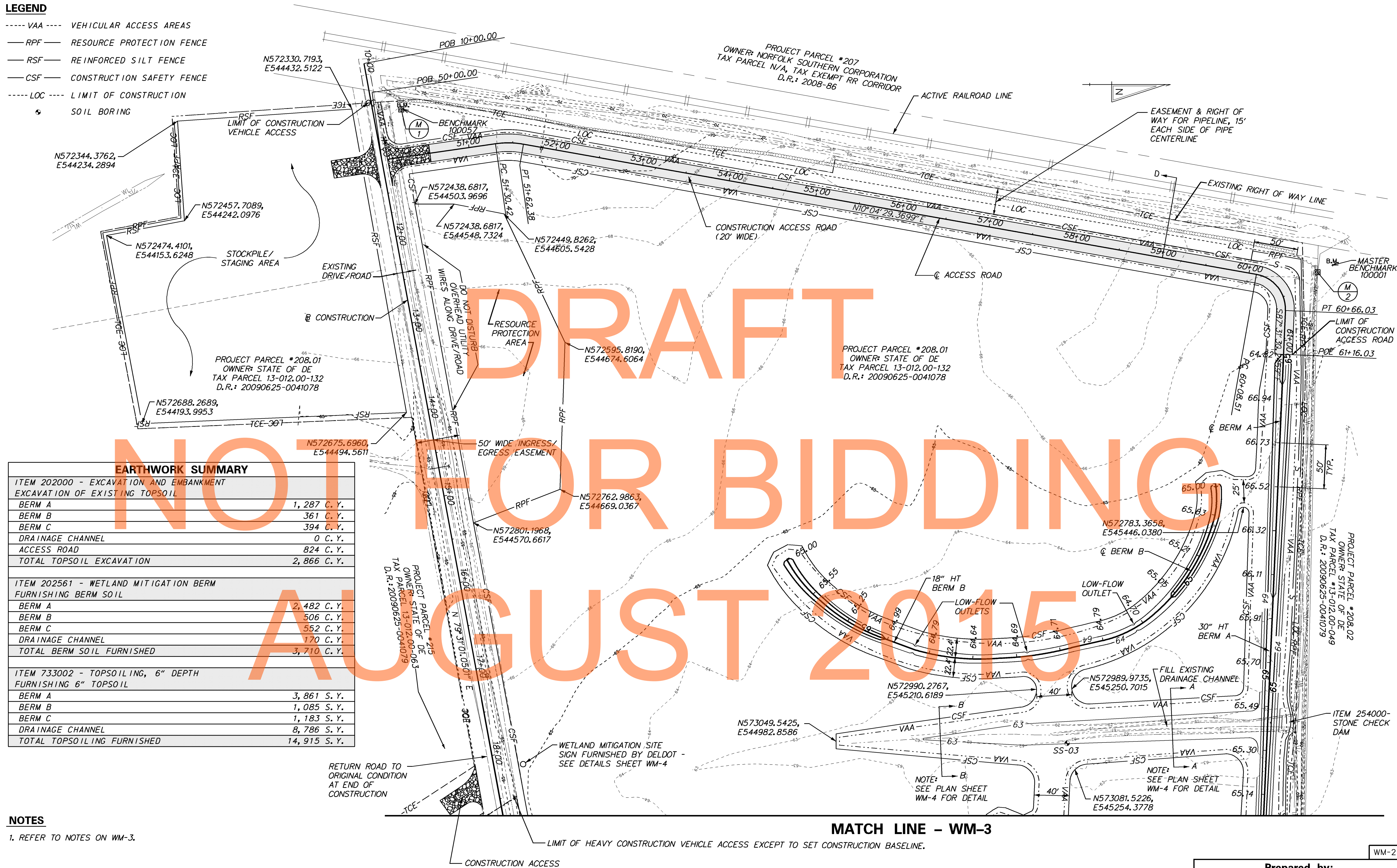
PROJECT LOCATION MAP
NOT TO SCALE

NOTE:
ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM, 1988 (NAVD 88)
HORIZONTAL DATUM: NORTH AMERICAN DATUM, 1983 (2007).

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LEGEND

- VAA ---- VEHICULAR ACCESS AREAS
- RPF — RESOURCE PROTECTION FENCE
- RSF — REINFORCED SILT FENCE
- CSF — CONSTRUCTION SAFETY FENCE
- LOC ---- LIMIT OF CONSTRUCTION
- ⊙ SOIL BORING



EARTHWORK SUMMARY

ITEM 202000 - EXCAVATION AND EMBANKMENT EXCAVATION OF EXISTING TOPSOIL	
BERM A	1, 287 C. Y.
BERM B	361 C. Y.
BERM C	394 C. Y.
DRAINAGE CHANNEL	0 C. Y.
ACCESS ROAD	824 C. Y.
TOTAL TOPSOIL EXCAVATION	2, 866 C. Y.
ITEM 202561 - WETLAND MITIGATION BERM FURNISHING BERM SOIL	
BERM A	2, 482 C. Y.
BERM B	506 C. Y.
BERM C	552 C. Y.
DRAINAGE CHANNEL	170 C. Y.
TOTAL BERM SOIL FURNISHED	3, 710 C. Y.
ITEM 733002 - TOPSOILING, 6" DEPTH FURNISHING 6" TOPSOIL	
BERM A	3, 861 S. Y.
BERM B	1, 085 S. Y.
BERM C	1, 183 S. Y.
DRAINAGE CHANNEL	8, 786 S. Y.
TOTAL TOPSOILING FURNISHED	14, 915 S. Y.

NOTES

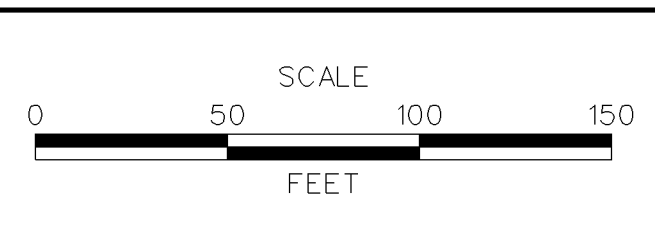
1. REFER TO NOTES ON WM-3.

DRAFT FOR BIDDING AUGUST 2015

MATCH LINE - WM-3



ADDENDUMS / REVISIONS



**US 301,
NORFOLK SOUTHERN RR TO SR 896**

CONTRACT	T200911301
COUNTY	NEW CASTLE
BRIDGE NO.	X
DESIGNED BY:	WMM
CHECKED BY:	JTR

Prepared by:
RUMMEL, KLEPPER & KAHL, LLP

**PLEASANTON
WETLAND MITIGATION
CONSTRUCTION PLAN**

SHEET NO. 221
TOTAL SHTS. 240

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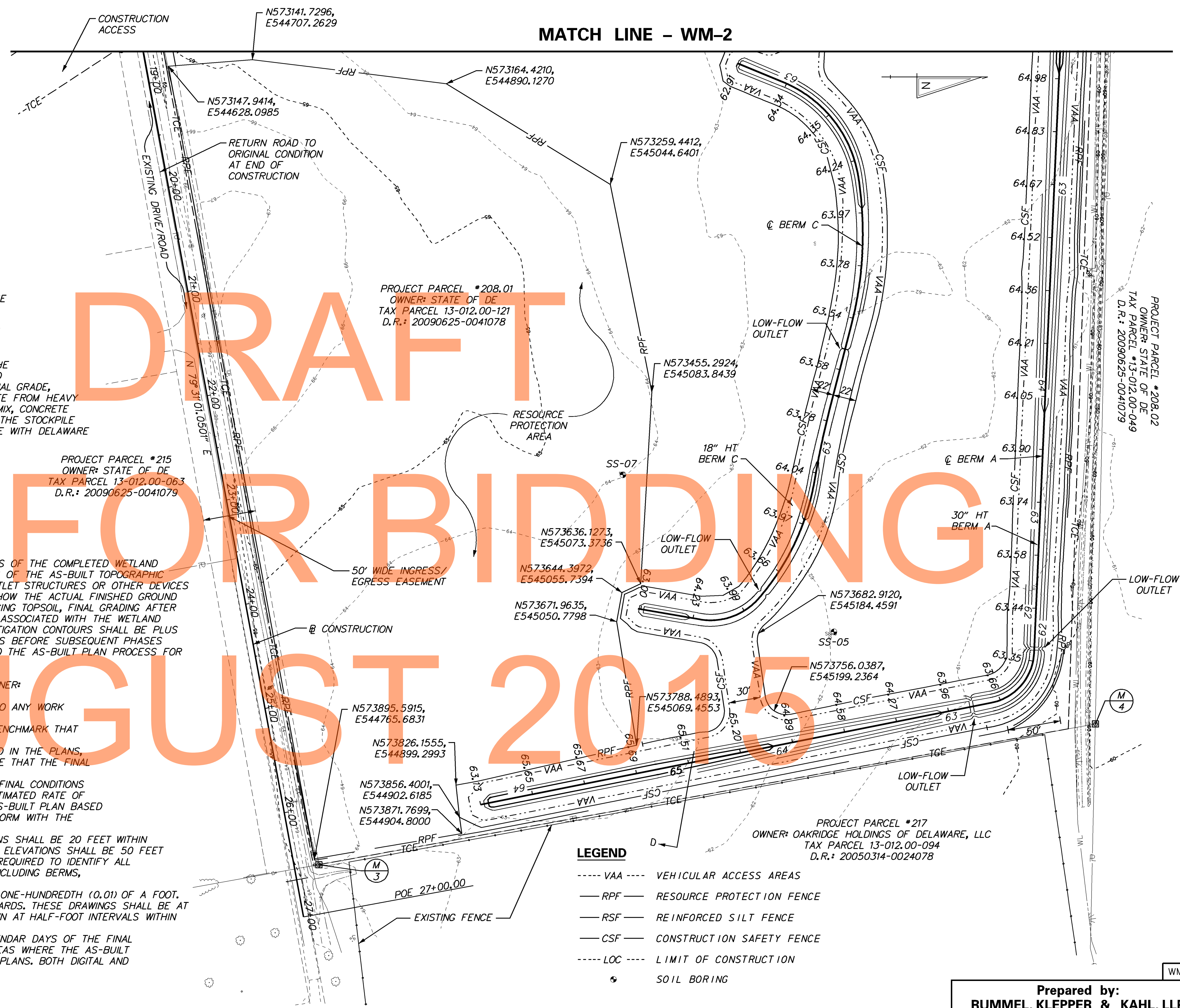
NOTES

- HORIZONTAL AND VERTICAL CONTROL FOR THE PROPOSED GRADING SHALL BE BASED ON SURVEY CONTROL POINT KNOWN AS MASTER BENCHMARK 100001. (REFER TO HORIZONTAL/VERTICAL CONTROL DATA SCHEDULE ON WM-1).
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE MASTER BENCHMARK DURING CONSTRUCTION.
- THE BENCHMARK SHALL NOT BE RESET OR RE-EVALUATED FOR ELEVATIONS. ALL GRADING ELEVATIONS SHALL BE REFERENCED TO THE BENCHMARK DATUM.
- TOPOGRAPHIC SURVEY COMPILED FROM PHOTOGRAMMETRY CONDUCTED BY AERO-METRIC, INC. IN 2006, AND FROM GROUND SURVEY BY CENTURY ENGINEERING, INC. IN 2009.
- CONSTRUCTION VEHICLES ARE ONLY PERMITTED IN AREAS DESIGNATED BY THE VAA LINE. CONSTRUCTION VEHICLES ARE PROHIBITED FROM DRIVING ON ANY OTHER PORTION OF THE CONSTRUCTION SITE.
- THE CONSTRUCTION TOLERANCE SHALL BE WITHIN 0.1 FEET OF SPECIFIED ELEVATIONS AND SHALL BE STRICTLY ADHERED TO FOR ALL EXCAVATION/GRADING OPERATIONS UNLESS OTHERWISE SPECIFIED BY THE ENGINEER. ONLY AT THE DIRECTION OF THE ENGINEER SHALL THE CONTRACTOR MODIFY THE GRADING SPECIFIED IN THESE DESIGN PLANS.
- REFER TO SHEET WM-6 FOR ADDITIONAL NOTES APPLICABLE TO CONSTRUCTION.
- EARTHWORK SUMMARY TABLE IS LOCATED ON SHEET WM-2.
- SOIL PROFILE INFORMATION FOR SOIL BORINGS SS-03, SS-05, AND SS-07 IS LOCATED ON SHEET WM-4.
- THE CONTRACTOR MUST ALWAYS MAINTAIN ACCESS ALONG THE EXISTING DRIVE/ROAD FOR THE PRIVATE PROPERTIES LOCATED ALONG THE DRIVE/ROAD.
- THE EXISTING DRIVE/ROAD SHALL BE RESTORED FULLY TO ITS ORIGINAL PAVED CONDITION AT THE COMPLETION OF THE CONTRACT BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- THE STOCKPILE/STAGING AREA SHALL BE FULLY RESTORED TO ITS ORIGINAL CONDITION BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. ALL STOCKPILED MATERIAL SHALL BE REMOVED AND THE AREA RETURNED TO PRECONSTRUCTION GRADES. WHERE EXCAVATED BELOW ORIGINAL GRADE, THE CONTRACTOR SHALL ENSURE A MINIMUM OF 4" OF TOPSOIL (FRIABLE LOAM TOPSOIL FREE FROM HEAVY CLAY AND FOREIGN MATERIALS HARMFUL TO PLANT GROWTH, SUCH AS FRAGMENTS OF HOT-MIX, CONCRETE PAVEMENT AND SURFACE TREATMENT WITH A MINIMUM OF 3% ORGANIC MATTER) REMAINS IN THE STOCKPILE /STAGING AREA. THE RESTORED STOCKPILE/STAGING AREA SHALL BE SEEDDED IN ACCORDANCE WITH DELAWARE STANDARD SPECIFICATION ITEM 734551- NATIVE GRASS SEEDING: NO MOW MIX.
- ALL CONSTRUCTION ACCESS SHALL BE FROM THE US 301 MAINLINE WORK AREA. ACCESS ACROSS NORFOLK SOUTHERN RAILROAD IS PROHIBITED.
- MONUMENTS M-1 THROUGH M-4 ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND SHALL BE INSTALLED BY OTHERS.
- REMOVAL OF THE CONSTRUCTION ACCESS ROAD SHALL BE PAID FOR UNDER ITEM 202000- EXCAVATION AND EMBANKMENT.
- THE CONTRACTOR SHALL COORDINATE WITH DELDOT TO HAVE AS-BUILT TOPOGRAPHIC SURVEYS OF THE COMPLETED WETLAND MITIGATION SITE PERFORMED BY DELDOT OR THEIR DESIGNATED REPRESENTATIVE. THE LIMITS OF THE AS-BUILT TOPOGRAPHIC SURVEY SHALL INCLUDE ALL DISTURBED AREAS AND DETAILED AS-BUILT INFORMATION OF OUTLET STRUCTURES OR OTHER DEVICES WITHIN THE LIMITS OF THE DISTURBED AREA. THE AS-BUILT PLAN SHALL BE INTENDED TO SHOW THE ACTUAL FINISHED GROUND CONTOURS AS THEY EXIST AT THE TIME OF FINAL EXCAVATION TO SUBGRADE PRIOR TO PLACING TOPSOIL, FINAL GRADING AFTER TOPSOIL HAS BEEN PLACED AND DETAILS OF ALL OUTLET DEVICES AND OTHER STRUCTURES ASSOCIATED WITH THE WETLAND MITIGATION SITE. THE TOLERANCE FOR FINAL EXCAVATED SUBGRADES AND FINAL WETLAND MITIGATION CONTOURS SHALL BE PLUS OR MINUS ONE-TENTH (0.1) OF A FOOT. IF ANY CHANGES OCCUR TO THE AS-BUILT CONDITIONS BEFORE SUBSEQUENT PHASES OF WORK ARE PERFORMED, THE CONTRACTOR SHALL CORRECT THE CHANGED CONDITIONS AND THE AS-BUILT PLAN PROCESS FOR THE AREA WHERE THE CHANGED CONDITIONS OCCURRED SHALL BE RE-ESTABLISHED.

THE AS-BUILT SURVEYS AND AS-BUILT PLANS SHALL BE DEVELOPED IN THE FOLLOWING MANNER:

- DELDOT AND THE CONTRACTOR SHALL AGREE ON ORIGINAL GROUND ELEVATIONS PRIOR TO ANY WORK BEING PERFORMED THAT WOULD ALTER ORIGINAL GROUND CONDITIONS.
- DELDOT AND THE CONTRACTOR SHALL CONFIRM THE MASTER SURVEY CONTROL POINT/BENCHMARK THAT WILL BE USED FOR THE DURATION OF THE PROJECT.
- AS THE CONTRACTOR PERFORMS WORK TOWARDS AN AS-BUILT MILESTONE AS IDENTIFIED IN THE PLANS, THE CONTRACTOR SHALL PROVIDE DELDOT A MINIMUM 5 CALENDAR DAY ADVANCE NOTICE THAT THE FINAL CONDITIONS ARE READY FOR THE AS-BUILT TOPOGRAPHIC SURVEY TO BE PERFORMED.
- DELDOT OR THEIR DESIGNATED REPRESENTATIVE WILL THEN PERFORM SURVEY ON THE FINAL CONDITIONS AND PREPARE AN AS-BUILT PLAN. THE AS-BUILT SURVEY WILL BE OBTAINED AT AN ESTIMATED RATE OF 5 ACRES OF CONTIGUOUS AREA PER WORKING DAY. DELDOT WILL THEN PREPARE AN AS-BUILT PLAN BASED ON THE SURVEY INFORMATION. THE AS-BUILT SURVEY AND PLAN WILL GENERALLY CONFORM WITH THE FOLLOWING PARAMETERS:
 - SPOT ELEVATION INTERVALS AND MAXIMUM DISTANCES BETWEEN SPOT ELEVATIONS SHALL BE 20 FEET WITHIN THE VAA. SPOT ELEVATION INTERVALS AND MAXIMUM DISTANCES BETWEEN SPOT ELEVATIONS SHALL BE 50 FEET FOR ALL OTHER AREAS. ADDITIONAL SPOT ELEVATIONS SHALL BE OBTAINED AS REQUIRED TO IDENTIFY ALL BREAKS IN GRADE, AND OTHER FEATURES OF THE WETLAND MITIGATION SITE, INCLUDING BERMS, LOW FLOW OUTLETS, ETC.
 - SPOT ELEVATIONS SHALL BE OBTAINED AND SHOWN ON THE AS-BUILT PLAN TO ONE-HUNDREDTH (0.01) OF A FOOT. THE AS-BUILT PLAN SHALL BE PREPARED CONFORMING TO DELDOT CADD STANDARDS. THESE DRAWINGS SHALL BE AT THE SAME SCALE AS THE CONTRACT PLAN SHEETS. CONTOURS SHALL BE SHOWN AT HALF-FOOT INTERVALS WITHIN THE VAA AND AT ONE-FOOT INTERVALS FOR AREAS OUTSIDE OF THE VAA.
- DELDOT WILL PROVIDE THE AS-BUILT PLAN TO THE CONTRACTOR WITHIN SEVEN (7) CALENDAR DAYS OF THE FINAL AS-BUILT SURVEY INFORMATION BEING OBTAINED. THE AS-BUILT PLAN WILL IDENTIFY AREAS WHERE THE AS-BUILT CONDITIONS DO NOT CONFORM TO THE LINES AND GRADES PROVIDED IN THE CONTRACT PLANS. BOTH DIGITAL AND PAPER FORMATS OF THE AS-BUILT PLAN WILL BE PROVIDED.

NOTES CONTINUED ON SHEET WM-4.



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ADDENDUMS / REVISIONS	

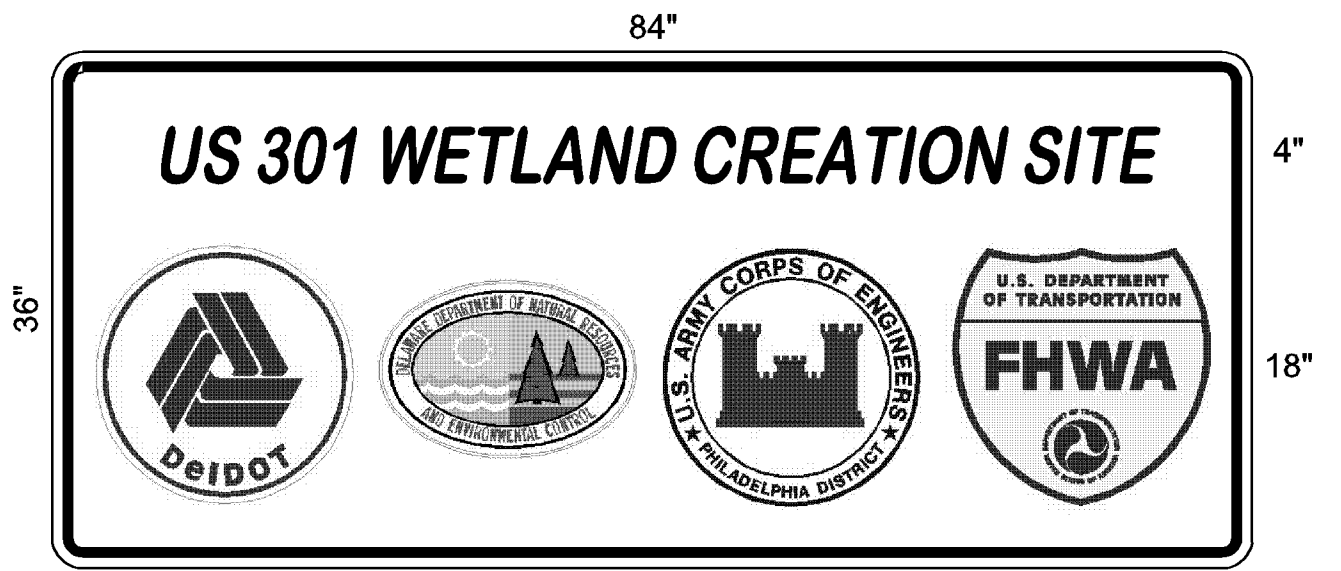
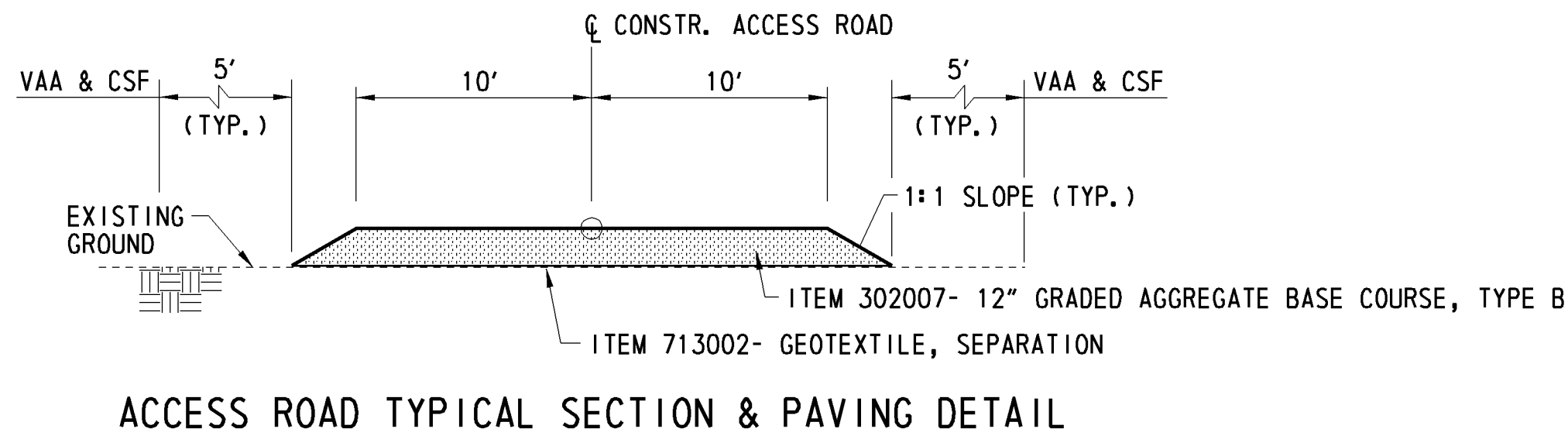
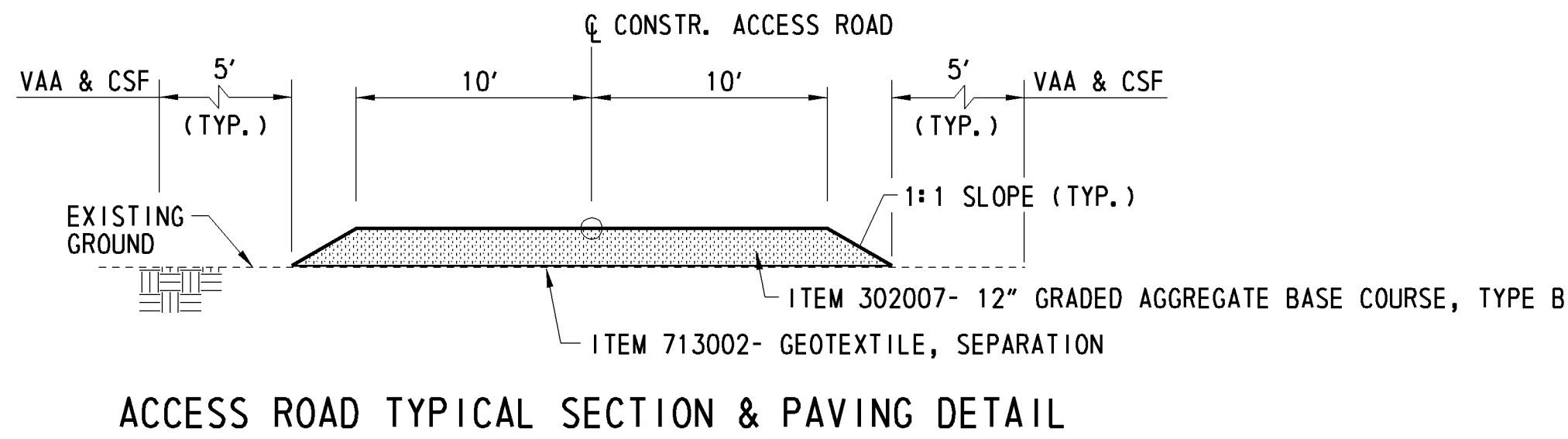
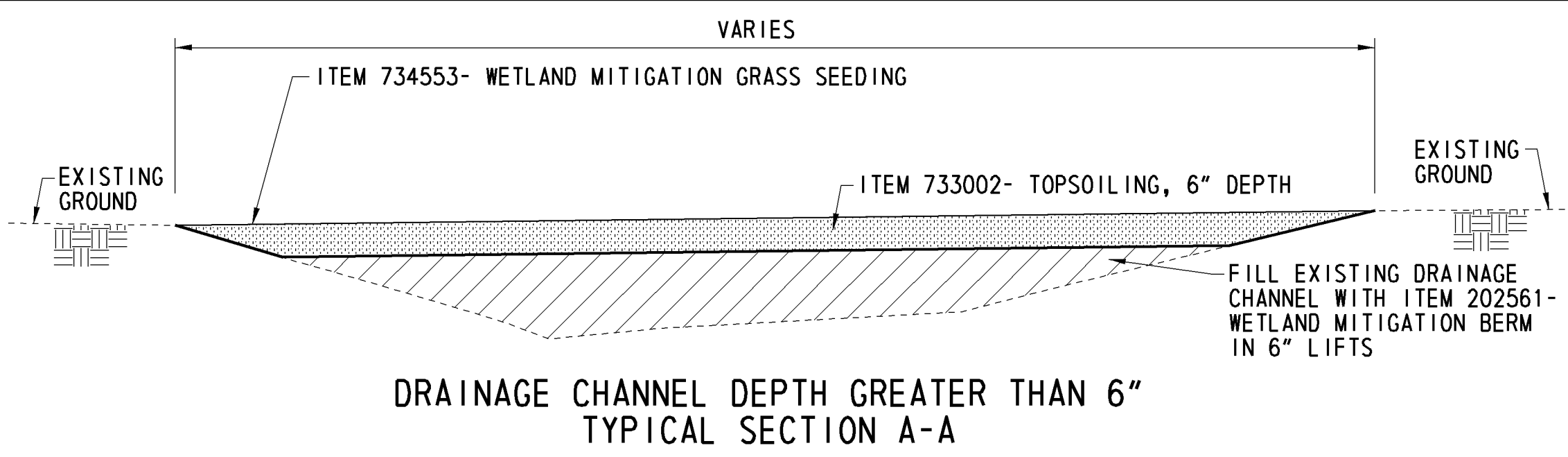


**US 301,
NORFOLK SOUTHERN RR TO SR 896**

CONTRACT	BRIDGE NO.	X
T200911301	DESIGNED BY: WMM	
COUNTY	CHECKED BY: JTR	
NEW CASTLE		

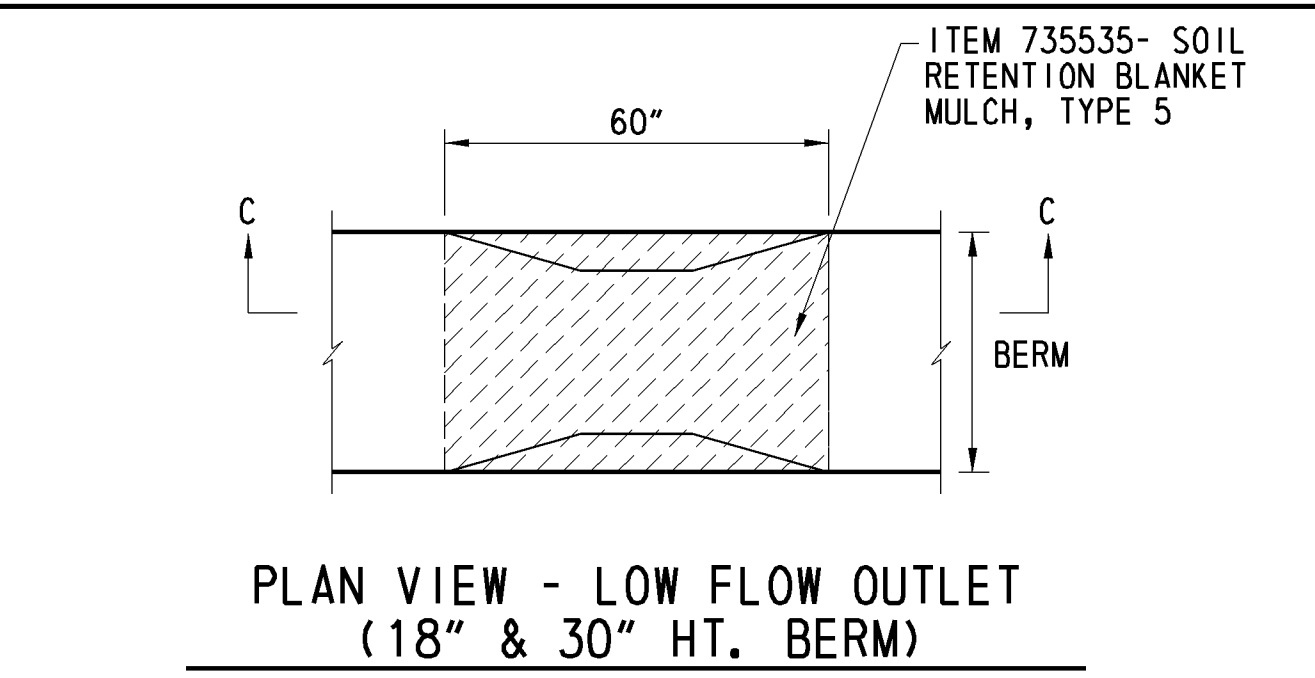
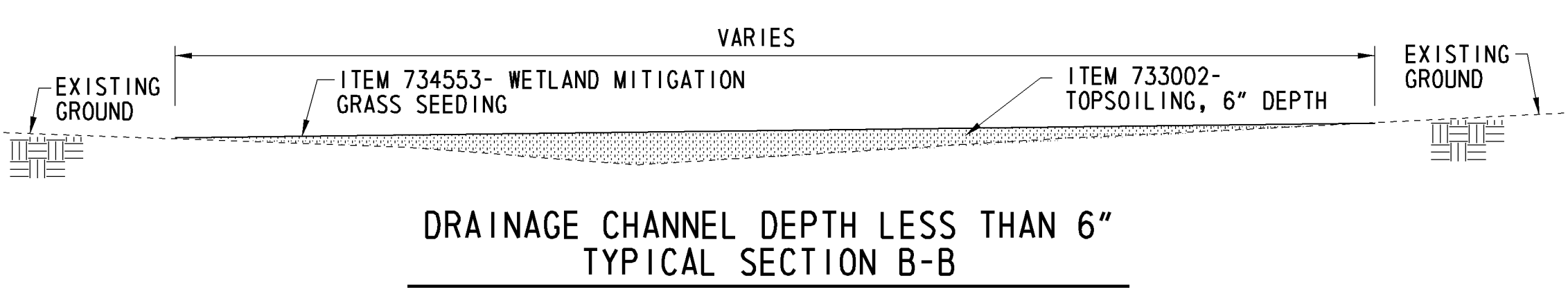
Prepared by: RUMMEL, KLEPPER & KAHL, LLP		SHEET NO.
PLEASANTON WETLAND MITIGATION CONSTRUCTION PLAN		222
		TOTAL SHTS.
		240

WM-3

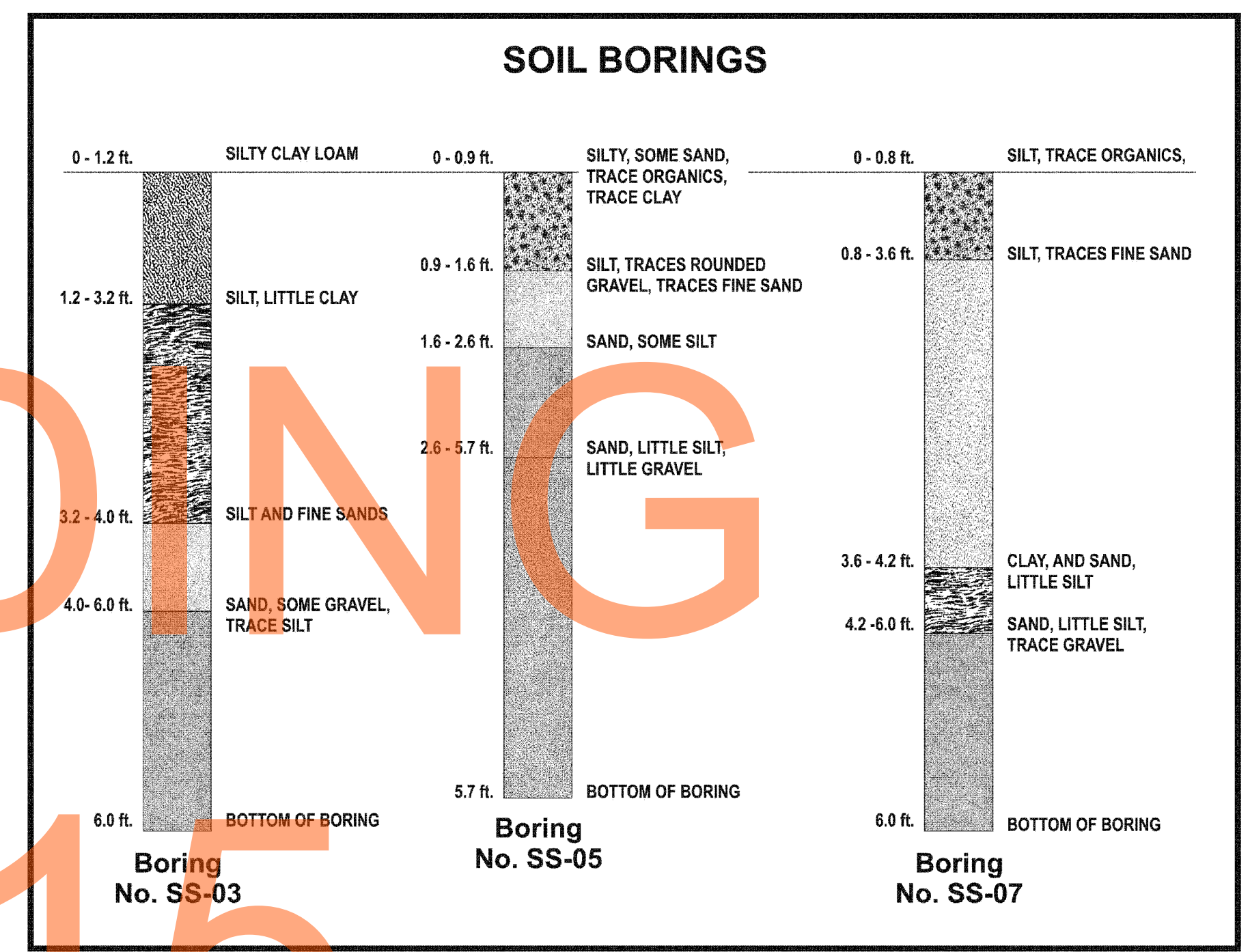
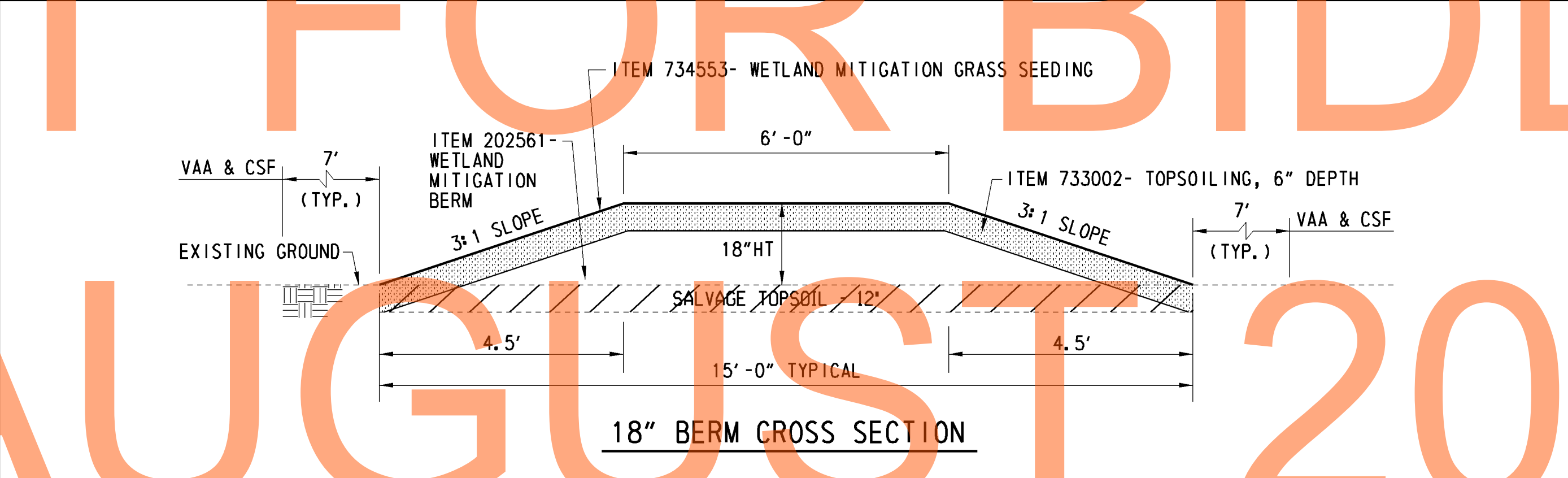
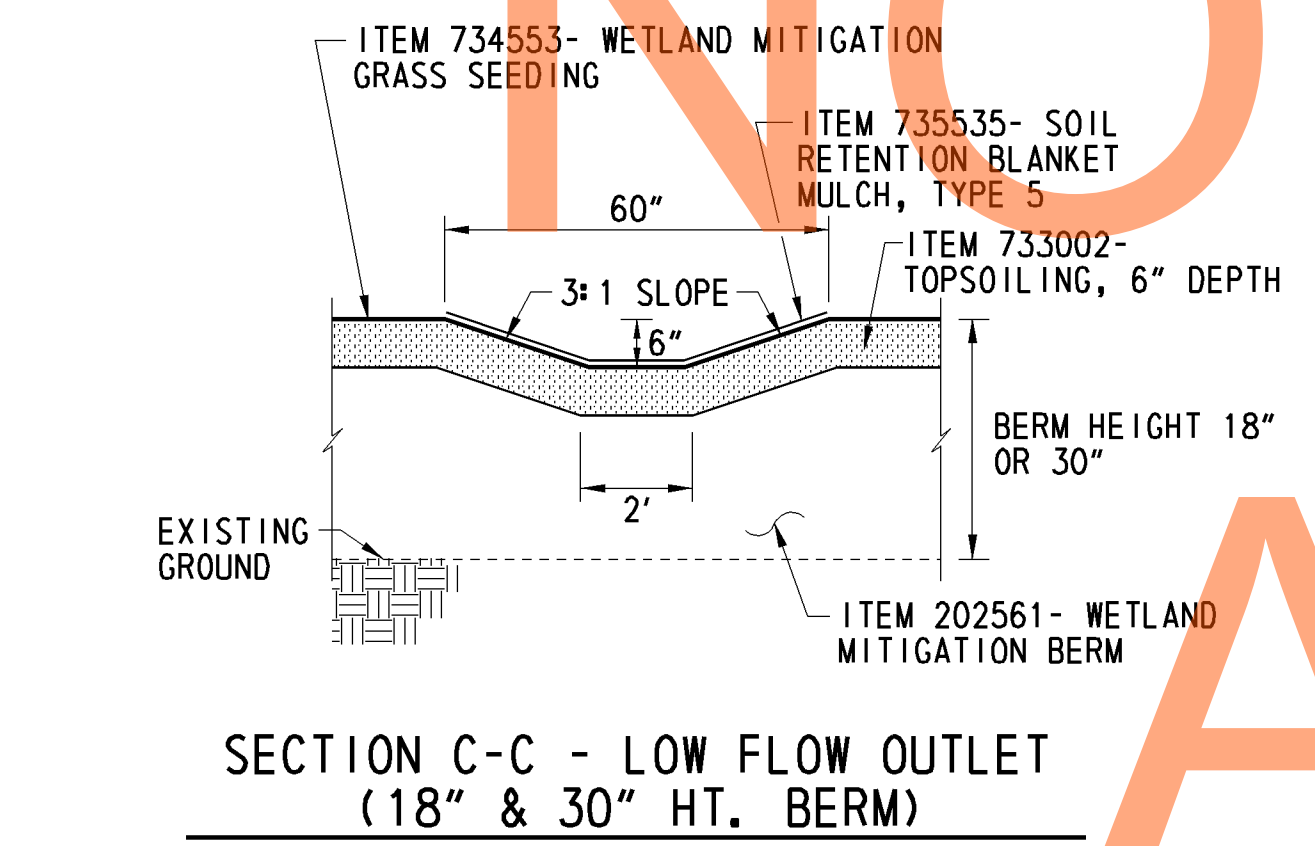
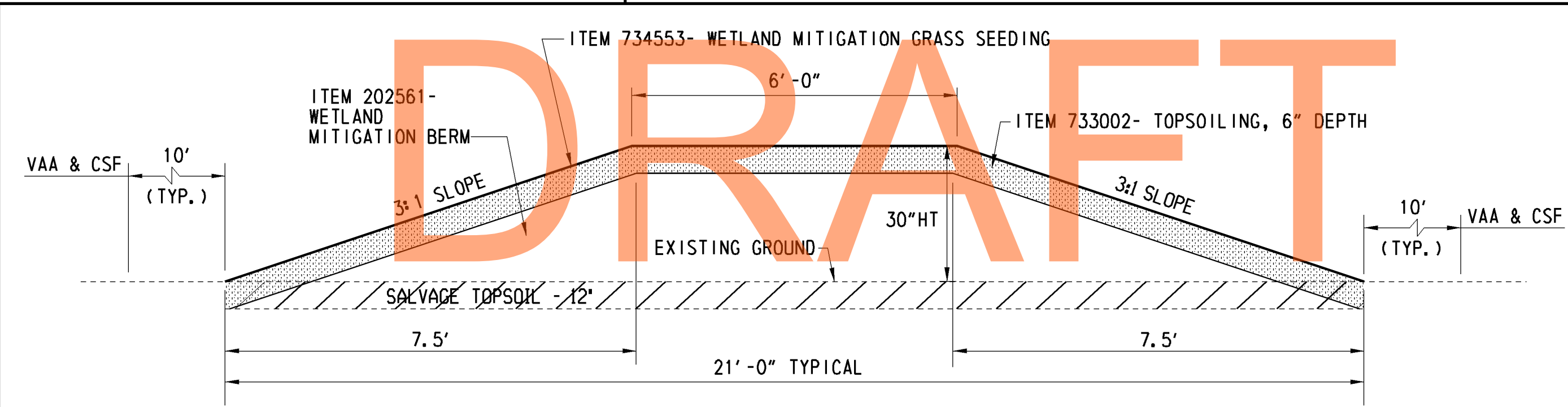


THE CONTRACTOR SHALL COORDINATE WITH DELDOT'S SIGN SHOP TO OBTAIN THE SIGN PANEL. ALL COSTS ARE INCIDENTAL TO ITEM 749690, INSTALLATION OR REMOVAL OF TRAFFIC SIGN ON MULTIPLE SIGN POSTS.

WETLAND MITIGATION SITE SIGN DETAIL



NOTE: REFER TO SPECIFICATIONS FOR INSTRUCTIONS ON HOW TO FASTEN SOIL RETENTION BLANKET.



NOTES (CONTINUED FROM WM-3)

- f. THE CONTRACTOR SHALL INFORM DELDOT WITHIN SEVEN (7) CALENDAR DAYS IF THEY AGREE WITH THE AS-BUILT PLAN PROVIDED BY DELDOT. IF THE CONTRACTOR DOES NOT AGREE WITH THE AS-BUILT PLAN PROVIDED BY DELDOT, THE CONTRACTOR SHALL AT THAT TIME PROVIDE AN AS-BUILT PLAN THAT HAS BEEN SIGNED AND SEALED BY A PROFESSIONAL SURVEYOR OR PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF DELAWARE. THE AS-BUILT PLAN SHALL CONFORM TO THE REQUIREMENTS DESCRIBED ABOVE AND SHALL NOTE AREAS WHERE THE CONTRACTOR DOES NOT AGREE WITH THE DELDOT AS-BUILT PLAN AND AREAS WHERE THE AS-BUILT CONDITIONS DO NOT CONFORM TO THE LINES AND GRADES PROVIDED IN THE CONTRACT PLANS. DELDOT SHALL THEN INFORM THE CONTRACTOR WITHIN SEVEN (7) CALENDAR DAYS IF THEY AGREE WITH THE CONTRACTOR'S AS-BUILT INFORMATION OR PROVIDE THE CONTRACTOR WITH ANOTHER AS-BUILT PLAN. THE CONTRACTOR WILL THEN HAVE ANOTHER SEVEN (7) CALENDAR DAYS TO INFORM DELDOT IF THEY AGREE WITH THE CURRENT INFORMATION AND, IF NOT, THE ABOVE PROCESS WILL CONTINUE UNTIL DELDOT AND THE CONTRACTOR AGREE ON THE AS-BUILT CONDITIONS.
- g. THE CONTRACTOR SHALL CORRECT ANY DEFECTIVE AREAS AT THE CONTRACTOR'S EXPENSE. THERE SHALL BE NO ADDITIONAL PAYMENT FOR GRADING, SEEDING, MULCHING, EROSION AND SEDIMENT CONTROL MEASURES OR ANY OTHER WORK REQUIRED FOR THE CORRECTIONS.
- h. THE CONTRACTOR SHALL AGAIN PROVIDE DELDOT THE ADVANCE NOTICE OF THE WORK BEING COMPLETED AND DELDOT SHALL OBTAIN AS-BUILT SURVEY DATA FOR THE CORRECTED WORK AND ANY OTHER AREAS THAT MAY HAVE BEEN DISTURBED WHILE PERFORMING THE CORRECTIVE WORK AS NOTED ABOVE.
- i. DELDOT WILL PROVIDE THE AS-BUILT PLAN REFLECTING THE CORRECTIVE WORK TO THE CONTRACTOR WITHIN SEVEN (7) CALENDAR DAYS OF THE FINAL AS-BUILT SURVEY INFORMATION BEING OBTAINED. BOTH DIGITAL AND PAPER FORMATS OF THE AS-BUILT PLAN WILL BE PROVIDED.
- j. IF AREAS NOT CONFORMING TO THE CONTRACT PLANS ARE AGAIN NOTED, THE CONTRACTOR SHALL CORRECT ANY DEFECTIVE AREAS AND THE ABOVE PROCESS SHALL CONTINUE UNTIL APPROVED AS-BUILT CONDITIONS ARE OBTAINED.
17. AS-BUILT TOPOGRAPHIC SURVEY PLANS SHALL BE OBTAINED FOR THE FOLLOWING MILESTONES. AS-BUILT PLANS SHALL BE APPROVED FOR EACH MILESTONE IN THE ORDER PRESENTED BELOW. AS-BUILT SURVEY WILL NOT BE PERFORMED FOR A MILESTONE UNTIL THE AS-BUILT PLAN FOR THE PREVIOUS MILESTONE IS APPROVED.
 - MILESTONE 1: CONSTRUCTION OF BERMS B & C AND THE FILLING OF THE EXISTING DITCH BETWEEN BERMS B & C, INCLUDING THE STONE CHECK DAMN.
 - MILESTONE 2: CONSTRUCTION OF BERM A.
 - MILESTONE 3: ENTIRE SITE AFTER RESTORATION OF THE STABILIZED CONSTRUCTION ENTRANCE, ACCESS ROAD AND ALL DISTURBED AREAS ARE RETURNED TO ORIGINAL GRADES.

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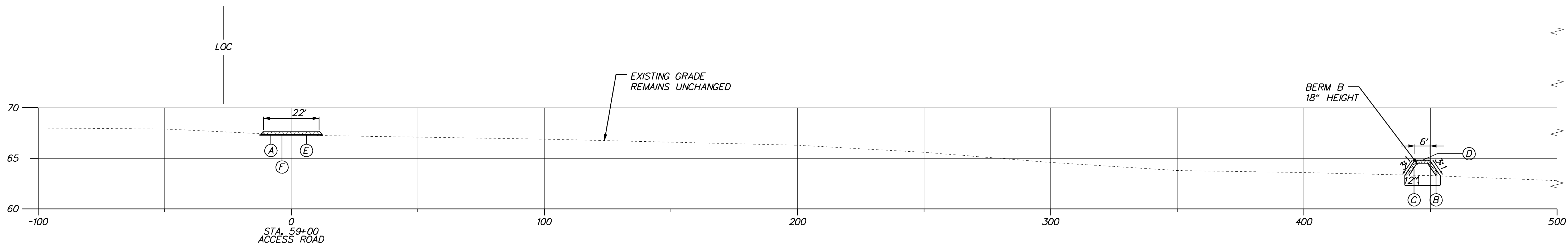
ADDENDUMS / REVISIONS

NOT TO SCALE

**US 301,
NORFOLK SOUTHERN RR TO SR 896**

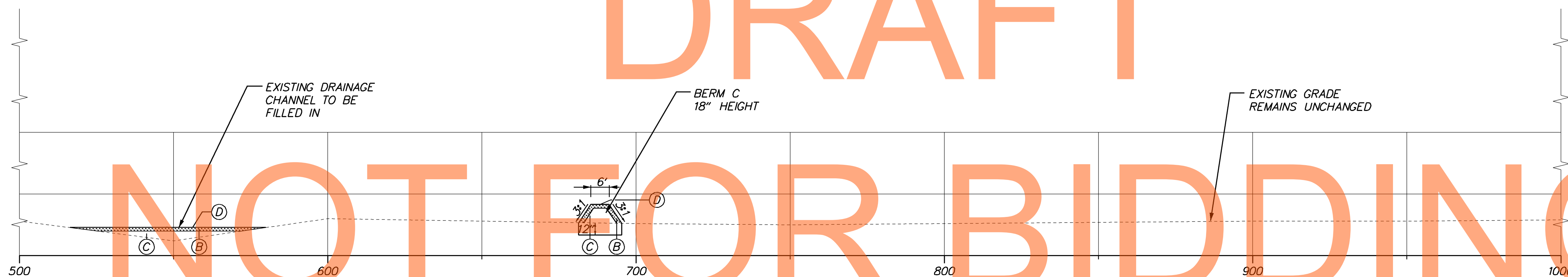
CONTRACT	BRIDGE NO.	X
T200911301	DESIGNED BY: WMM	
COUNTY	CHECKED BY: JTR	
NEW CASTLE		

Prepared by: RUMMEL, KLEPPER & KAHL, LLP		WM-4
PLEASANTON WETLAND MITIGATION CONSTRUCTION DETAILS		SHEET NO. 223
		TOTAL SHTS. 240



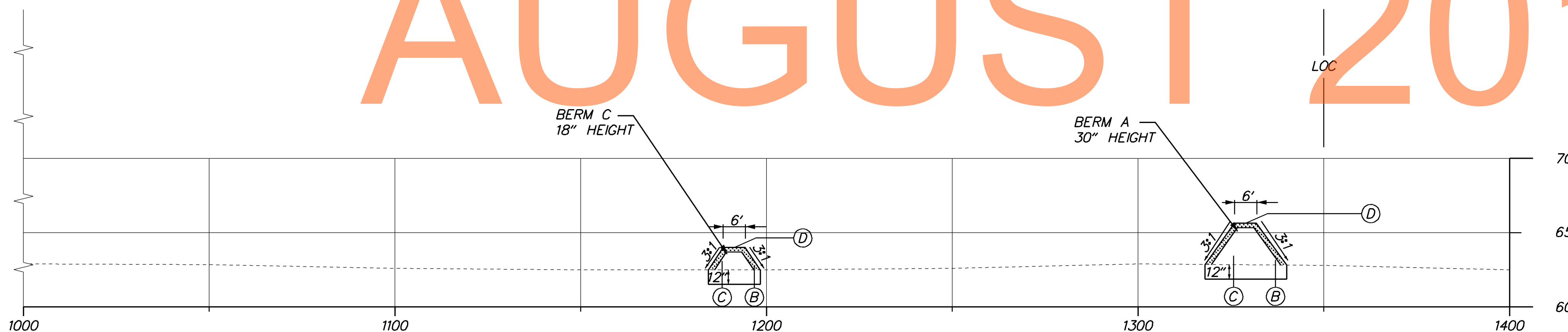
SECTION D-D

HORIZ. SCALE: 1"=20'
VERT. SCALE: 1"=5'
STA. 00+00.00 TO STA. 500+00.00



SECTION D-D

HORIZ. SCALE: 1"=20'
VERT. SCALE: 1"=5'
STA. 500+00.00 TO STA. 1000+00.00



SECTION D-D

HORIZ. SCALE: 1"=20'
VERT. SCALE: 1"=5'
STA. 1000+00.00 TO STA. 1400+00.00

LEGEND

- (A) ITEM 302007- 12" GRADED AGGREGATE BASE COURSE, TYPE B
- (B) ITEM 733002- TOPSOILING, 6" DEPTH
- (C) ITEM 202561- WETLAND MITIGATION BERM
- (D) ITEM 734553- WETLAND MITIGATION GRASS SEEDING
- (E) ITEM 713002- GEOTEXTILE, SEPARATION
- (F) ITEM 734551- NATIVE GRASS SEED: NO MOW MIX

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ADDENDUMS / REVISIONS

SCALE AS NOTED



US 301,
NORFOLK SOUTHERN RR TO SR 896

CONTRACT	BRIDGE NO.	X
T200911301	DESIGNED BY:	WMM
COUNTY	CHECKED BY:	JTR
NEW CASTLE		

Prepared by: RUMMEL, KLEPPER & KAHL, LLP		WM-5
PLEASANTON WETLAND MITIGATION TYPICAL SECTION D-D		SHEET NO. 224
		TOTAL SHTS. 240

SEEDING CHART			
SEEDING TYPE	AREA	RATE	QUANTITY
ITEM 734553- WETLAND MITIGATION GRASS SEEDING	4.07 AC. (19,722 S.Y.)	110 LBS/AC	447.7 LBS
ITEM 734551- NATIVE GRASS SEEDING: NO MOW MIX	3.22 AC. (15,597 S.Y.)	125 LBS/AC	402.5 LBS

LEGEND

- RSF — REINFORCED SILT FENCE
- RPF — RESOURCE PROTECTION FENCE
- LOC --- LIMIT OF CONSTRUCTION
-  ITEM 734553- WETLAND MITIGATION GRASS SEEDING
-  ITEM 734551- NATIVE GRASS SEEDING: NO MOW MIX

PLEASANTON MITIGATION CONSTRUCTION SEQUENCE

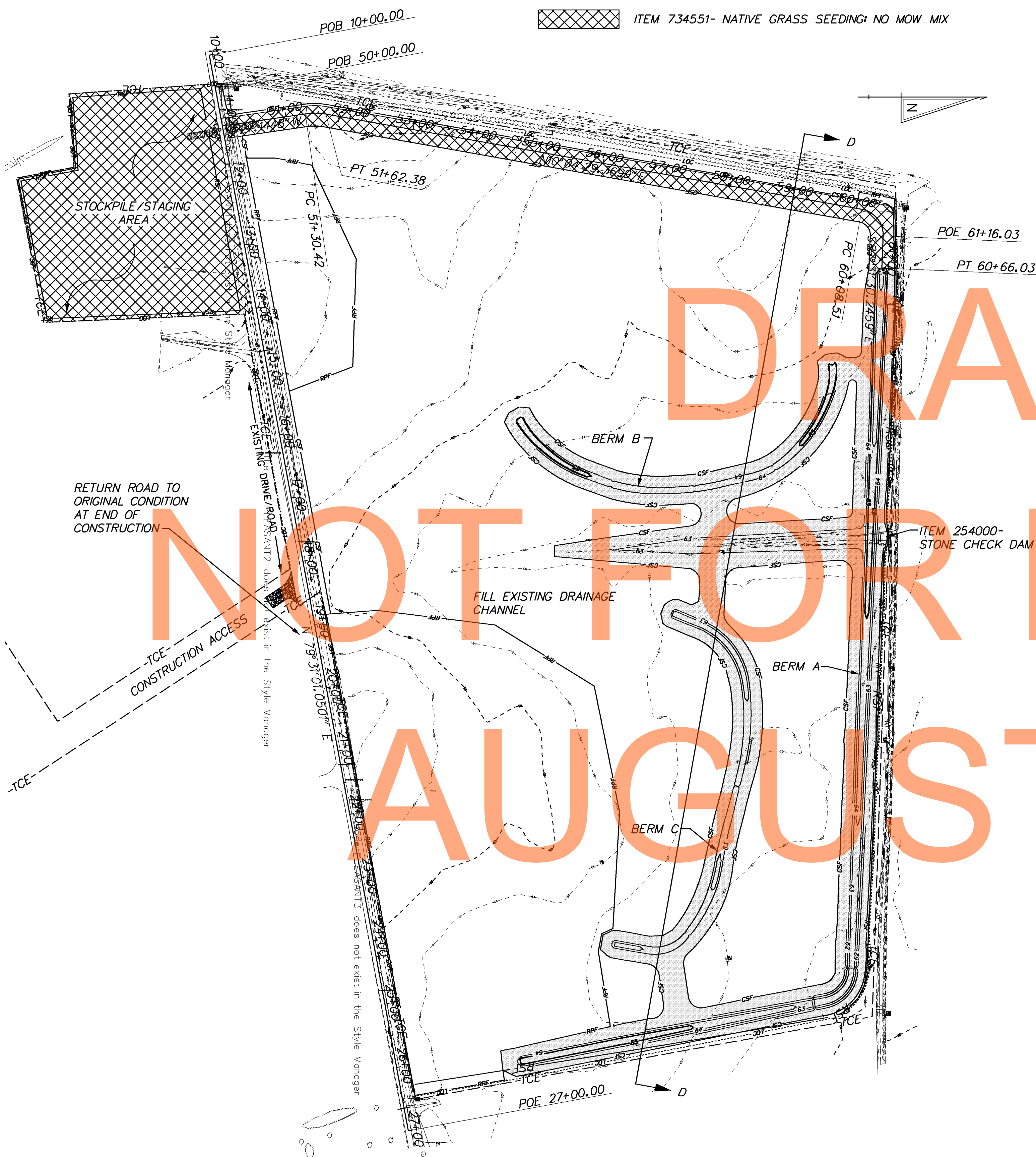
CONSTRUCTION AT THE PLEASANTON MITIGATION SITE SHALL BEGIN UPON APPROVAL OF THE ENGINEER, APPROXIMATELY 18 MONTHS FOLLOWING TREE PLANTING, CONDUCTED BY OTHERS. THE TREE PLANTING IS CURRENTLY SCHEDULED TO BE COMPLETED BY MAY 30, 2013.

THE CONTRACTOR SHALL NOT DISTURB THE TREE SEEDLINGS OUTSIDE THE VAA, PARTICULARLY WHEN INSTALLING THE RESOURCE PROTECTION FENCE AND CONSTRUCTION SAFETY FENCE. THE CONTRACTOR SHALL NOT MAKE ANY EFFORT TO PRESERVE TREE SEEDLINGS WITHIN THE VAA.

1. INSTALL ITEM 727552- RESOURCE PROTECTION FENCE.
2. INSTALL CONSTRUCTION SAFETY FENCE AND SILT FENCE.
3. INSTALL THE STABILIZED CONSTRUCTION ENTRANCES, THE CONSTRUCTION ACCESS ROAD, AND THE STONE CHECK DAM AS SHOWN ON THE PLANS.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND ACCEPTED BY THE ENGINEER BEFORE THE COMMENCEMENT OF ANY FURTHER CONSTRUCTION ACTIVITY.
5. ESTABLISH CENTER LINES FOR ALL BERMS. STRIP 12" OF TOPSOIL FROM THE FOOTPRINT OF ALL BERM LOCATIONS AND STORE 2,486 CY OF TOPSOIL, A QUANTITY SUFFICIENT TO COMPLETE ALL PLEASANTON WETLAND MITIGATION SITE ITEM 733002 - TOPSOILING, 6" DEPTH, IN THE DESIGNATED STOCKPILE/STAGING AREA. STOCKPILED TOPSOIL SHALL ONLY BE USED FOR TOPSOILING THE PLEASANTON WETLAND MITIGATION SITE. EXCESS STRIPPED TOPSOIL SHALL BE REMOVED FROM THE PLEASANTON WETLAND MITIGATION SITE.
6. CONSTRUCT BERM B.
7. FILL DRAINAGE CHANNEL BETWEEN BERMS B AND C.
8. EXTEND SILT FENCE TO FILL GAP ACROSS FORMER DRAINAGE CHANNEL.
9. CONSTRUCT BERM C.
10. SECURE MILESTONE 1 AS-BUILT APPROVAL.
11. CONSTRUCT BERM A FROM SOUTHEAST CORNER OF THE SITE TO THE NORTHWEST CORNER OF THE SITE. SIMULTANEOUSLY REMOVE SILT FENCE AS BERM TO THE SOUTH (OR THE SILT FENCE) IS COMPLETED.
12. SECURE MILESTONE 2 AS-BUILT APPROVAL.
13. SEED BERMS B,C AND A AND FILLED DRAINAGE CHANNEL WITH ITEM 734553 - WETLAND MITIGATION GRASS SEEDING.
14. REMOVE THE STABILIZED CONSTRUCTION ENTRANCES AND CONSTRUCTION ACCESS ROAD.
15. SECURE MILESTONE 3 AS-BUILT APPROVAL.
16. SEED REMOVED CONSTRUCTION ACCESS ROAD AND STOCKPILE STAGING AREA WITH ITEM 734551 - NATIVE GRASS SEEDING: NO MOW MIX.
17. UPON FINAL APPROVAL OF THE ENGINEER, THE CONTRACTOR SHALL REMOVE THE CONSTRUCTION SAFETY FENCE & RESOURCE PROTECTION FENCE BY HAND, AND SEED ANY AREAS DISTURBED DURING REMOVAL WITH ITEM 734553- WETLAND MITIGATION GRASS SEEDING.
18. THE CONTRACTOR SHALL INSTALL THE WETLAND MITIGATION SIGN FURNISHED BY DELDOT. INSTALLATION SHALL BE PAID FOR UNDER ITEM 749690- INSTALLATION OR REMOVAL OF TRAFFIC SIGNS ON MULTIPLE SIGN POSTS.
19. RESTORE EXISTING DRIVE/ROAD AS DIRECTED BY THE ENGINEER.

PLEASANTON MITIGATION LANDSCAPING NOTES

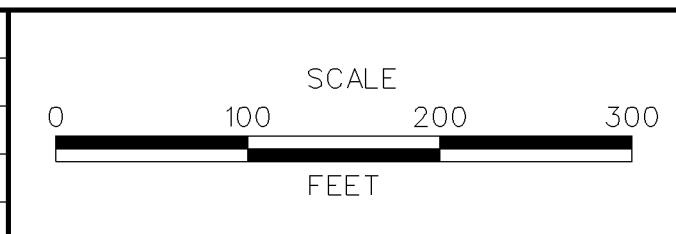
1. ITEM 734553 - WETLAND MITIGATION GRASS SEEDING SHALL BE HAND BROADCAST TO ENSURE BERMS AND THE FILLED DRAINAGE CHANNEL ARE NOT DISTURBED.
2. ITEM 734551- NATIVE GRASS SEEDING: NO MOW MIX. SEEDING SHALL BE PERFORMED WITH LOW-GROUND-PRESSURE EQUIPMENT INCLUDING EQUIPMENT WITH WIDE TIRES, DUAL TIRES, BOGEYS, OR TRACKED MACHINERY AS APPROVED BY THE ENGINEER.
3. SEEDING SHALL OCCUR DURING THE EARLIEST SEEDING WINDOW FOLLOWING MILESTONE 2 AS-BUILT APPROVAL.
4. SEEDING WINDOW: SEEDING SHALL OCCUR BETWEEN SEPTEMBER 1 TO NOVEMBER 15 (FALL SEEDING WINDOW). IF SEEDING IS COMPLETED OUTSIDE OF DESIGNATED TIME PERIOD, THEN EVALUATION AND POSSIBLE ACCEPTANCE OF THE SEEDING WILL OCCUR NO SOONER THAN ONE YEAR AFTER THE COMPLETION OF ALL SEEDING.
5. ITEM 734551- NATIVE GRASS SEED: NO MOW MIX SHALL INCLUDE SOIL DISCING. DISCING EQUIPMENT SHALL PENETRATE THE SOIL TO A MINIMUM DEPTH OF 6". THE COST OF DISCING SHALL BE INCIDENTAL TO ITEM 734551- NATIVE GRASS SEEDING: NO MOW MIX.



DRAFT
NOT FOR BIDDING
AUGUST 2015

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ADDENDUMS / REVISIONS



US 301,
NORFOLK SOUTHERN RR TO SR 896

CONTRACT	BRIDGE NO.	X
T200911301	DESIGNED BY: WMM	
COUNTY	CHECKED BY: JTR	
NEW CASTLE		

Prepared by: RUMMEL, KLEPPER & KAHL, LLP		WM-6
PLEASANTON WETLAND MITIGATION CONSTRUCTION PHASING AND LANDSCAPING PLAN		SHEET NO. 225
		TOTAL SHTS. 240